

# SITE DEVELOPMENT PLANS

for

# HOURGLASS STUDIOS

613 Surrey Street, Wilmington, NC 28401



Coastal Land Design, PLLC  
 Civil Engineering / Landscape Architecture  
 Land Planning / Construction Management  
 NCBELS Firm License P-0369  
 P.O. Box 1172 Phone: 910-254-9333  
 Wilmington, NC 28402 Fax: 910-254-0502  
 www.cldeng.com

HOURGLASS STUDIOS  
 613 SURREY ST, WILMINGTON, NC

PRELIMINARY CONSTRUCTION PLANS

**OWNER:**  
 HOURGLASS STUDIOS, LLC  
 521 SOUTH 3RD STREET  
 WILMINGTON, NC 28401

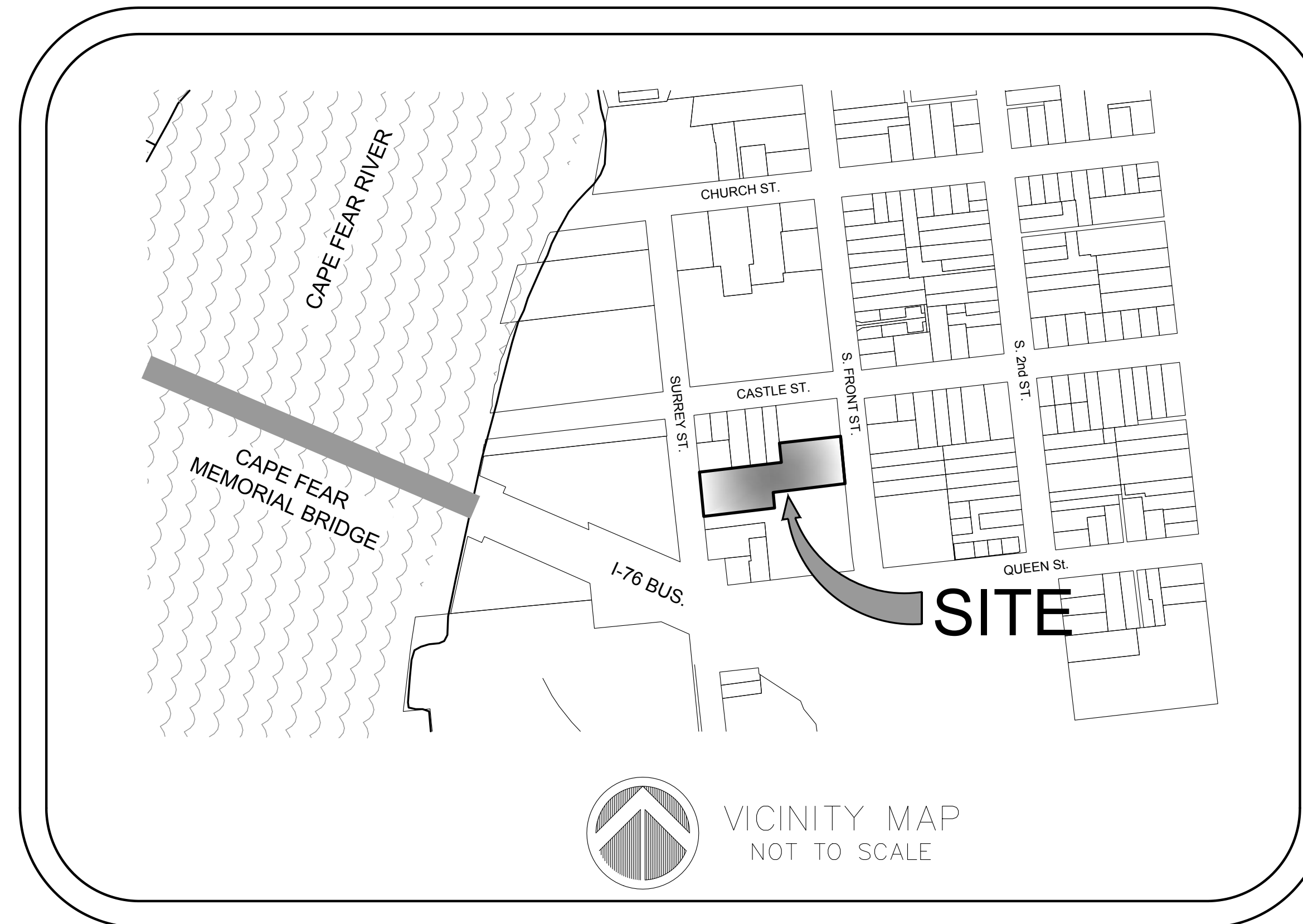
**ENGINEER:**  

**Coastal Land Design, PLLC**  
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**ARCHITECT:**  
 KERSTING ARCHITECTURE  
 4022 MARKET STREET  
 WILMINGTON, NC 28403  
 910-763-1348

**CONTRACTOR:**  
 MONTEITH CONSTRUCTION  
 208 PRINCESS STREET  
 WILMINGTON, NC 28403  
 910-791-8108

**SURVEYOR:**  
 POLARIS SURVEYING, PLLC  
 202 EAST BEDFORD ROAD  
 WILMINGTON, NC 28411  
 (910) 616-4210



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REV	DATE	DESCRIPTION
C	6/15/18	RELEASE FOR CITY OF WILMINGTON TPC THIRD REVIEW AND STORMWATER
B	2/19/18	RELEASE FOR CITY OF WILMINGTON TPC SECOND REVIEW
A	1/29/18	INITIAL RELEASE FOR CITY OF WILMINGTON STORMWATER REVIEW
		INIT

**OWNER:**  
 HOURGLASS STUDIOS, LLC  
 521 3RD ST S  
 WILMINGTON, NC 28401

WILMINGTON  
 Approved Construction Plan  
 Name \_\_\_\_\_ Date \_\_\_\_\_  
 Planning \_\_\_\_\_  
 Traffic \_\_\_\_\_  
 Fire \_\_\_\_\_

WILMINGTON  
 Public Services • Engineering Division  
 APPROVED STORMWATER MANAGEMENT PLAN  
 Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
 Signed: \_\_\_\_\_

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

ISSUED FOR AGENCY REVIEW ONLY

NOT RELEASED FOR CONSTRUCTION

**BEFORE YOU DIG, CALL**  
  
 www.nc811.org

APPROVED: JRC PROJECT: 755-00  
 CHECKED: JBP SCALE: AS SHOWN  
 DESIGNED: JRC RELEASE: PERMITTING

SHEET  
 COVER

**SITE DATA:**

1. PROJECT DATA:  
 NAME: HOURGLASS STUDIOS  
 ADDRESS: 606, 610, 612 SOUTH FRONT STREET  
 611, 613 SURREY STREET  
 OWNER: HOURGLASS STUDIOS, LLC  
 521 SOUTH 3RD STREET  
 WILMINGTON, NC 28401  
 PIDS: R05312-003-003-000  
 R05312-003-004-000  
 R05312-003-014-000  
 R05312-003-015-000  
 R05312-003-016-000  
 DEED: DEED BOOK 5961, PAGE 6035  
 ZONING: UMX URBAN MIXED-USE  
 LAND USE: COMMERCIAL/RESIDENTIAL  
 PARCEL: 0.778 ACRES (33,842 SF)  
 FEMA: FLOOD ZONE X (PANEL 37203117 K)  
 CAMA: LAND USE PLAN URBAN

DEVELOPMENT DATA  
 PRO BUILDING HSF: 11,992 SF  
 PRO BUILDING HEIGHT: 37 FEET  
 MAX BUILDING HEIGHT: 45 FEET  
 NUMBER OF STORIES: 1 STORY

BUILDING COVERAGE  
 BUILDING LOT COVERAGE: 38%  
 ALLOWED COVERAGE: N/A

**BUILDING SETBACKS**

FRONT: SEC 18-204-UMX C(2)C.  
 IN NO CASE SHALL FRONT SETBACKS ADJACENT TO THE PRIMARY STREET(S) OR AN INTERNAL STREET EXCEED 10 FEET.  
 SIDE: SEC 18-204-UMX C(2)A.  
 INSIDE THE 1945 CORPORATE LIMITS, NO SETBACKS ARE REQUIRED EXCEPT WHEN ABUTTING A SINGLE-FAMILY RESIDENTIAL DISTRICT  
 NORTH SIDE: 5 FEET REQUIRED

PARKING: SEC 18-204-UMX C(6)A.  
 THERE ARE NO MINIMUM PARKING SPACES REQUIRED. PARKING SHALL NOT EXCEED THE MAXIMUM ESTABLISHED FOR ANY USE IN ARTICLE 9.  
 PARKING SPACES PROVIDED: 6 (INCLUDES 1 ADA SPACE)

WATER AND SEWER CAPACITY  
 CURRENT WATER: 970 GPD  
 PROPOSED WATER: 1,750 GPD  
 CURRENT SEWER: 970 GPD  
 PROPOSED SEWER: 1,750 GPD

CURRENT CAPACITY BASED ON EXISTING SINGLE FAMILY DWELLING AND OFFICE/COMMERCIAL BUILDING.  
 PROPOSED CAPACITY BASED ON THEATER CAPACITY OF 200 PERSONS AT 5 GALLONS PER PERSON.

**TRASH COLLECTION**

PRIVATE ROLL CART. VENDOR COLLECTION FOR EVENTS.

**GENERAL SITE NOTES:**

- THE PROPERTY BOUNDARY, TOPOGRAPHIC, AND UTILITY SURVEY SHOWN ON THESE PLANS WERE PROVIDED BY POLARIS SURVEYING, PLLC AT 202 EAST BEDFORD ROAD, WILMINGTON, NORTH CAROLINA 28411.
- THERE ARE NO WETLANDS ON THIS PROPERTY.
- THIS PROPERTY IS LOCATED WITHIN FEMA FLOOD ZONE X UNDER MAP PANEL 37203117K.
- THE TOTAL DISTURBED AREA FOR THIS PROJECT WILL BE APPROXIMATELY 0.9 ACRES AND INCORPORATES ON-SITE AND OFF-SITE (RIGHT-OF-WAY) AREAS.
- THE DEMOTION WORK ON THIS SITE REQUIRES A DEMOLITION PERMIT FROM THE CITY OF WILMINGTON.
- THE SITE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES ABOVE AND BELOW GROUND BEFORE COMMENCING CONSTRUCTION.
- THE SITE CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OF ALL WASTE MATERIALS GENERATED THROUGH DEMOLITION AND GRUBBING ACTIVITIES SHOWN ON THESE PLANS.
- THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT SEDIMENT-LADEN RUNOFF IS TREATED PRIOR TO BEING DISCHARGED FROM THE SITE AND MAY BE REQUIRED TO PROVIDE ADDITIONAL MEASURES OF SEDIMENT CONTROL BASED UPON THE PERFORMANCE OF EROSION CONTROL MEASURES PROVIDED ON SITE.
- DENUDED AREAS MUST BE STABILIZED BASED UPON THE GROUND STABILIZATION REQUIREMENTS PROVIDED ON THIS SHEET. THIS INCLUDES SLOPES, SWALES, CHANNELS, AND STOCKPILES.
- EXCLOSOR MATTING AND SEEDING TO BE USED ON SLOPES STEEPER THAN 2:1 AND IN ANY REGRADED DITCHES AS PART OF THIS EROSION CONTROL PLAN.
- ALL TREES THAT ARE TO BE PROTECTED WITHIN DISTURBED AREAS SHALL BE WRAPPED IN TREE-PROTECTION FENCING PER CITY OF WILMINGTON REGULATIONS.
- ALL STORM DRAIN DEVICES ARE DESIGNED TO PROVIDE POSITIVE DRAINAGE AND MUST BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION BE HARDWARE CLOTH AND GRAVEL INLET PROTECTION DEVICES.
- CONSTRUCTION TRAFFIC MUST BE LIMITED ACROSS THE PERMEABLE CONCRETE AREAS PROVIDED IN THIS PLAN. THIS MAY REQUIRE THE PERMEABLE CONCRETE TO BE INSTALLED LAST, OR IN PHASES BASED UPON THE ERECTION OF THE BUILDING OR CONSTRUCTION OF OTHER SITE ITEMS.
- RUNOFF FROM PROJECT DRAINS TO AN EXISTING STORMWATER DRAINAGE SYSTEM IN THE SURREY STREET RIGHT-OF-WAY. THE EXISTING SYSTEM MUST BE PROTECTED FROM SEDIMENTATION BY ON-SITE SILT FENCE AND SOCK-INLET PROTECTION DEVICES. ULTIMATELY, DRAINAGE FROM THIS SITE IS TO THE CAPE FEAR RIVER (I.D.: 18-74-(61), CLASSIFICATION: C;Sw) WITHIN THE CAPE FEAR RIVER BASIN.
- MATERIAL AND SOIL STAGING/STOCKPILING AREAS SHALL BE LOCATED WITHIN THE LIMIT OF DISTURBANCE, SURROUNDED BY SILT FENCE, AND STABILIZED AS REQUIRED BY THE STABILIZATION REQUIREMENTS AND SEEDING SCHEDULES.
- ALL ROOF DRAINAGE FROM THE PROPOSED BUILDING AND EXISTING BUILDING TO REMAIN SHALL BE DIRECTED TO INFILTRATION TRENCH 1 AND INFILTRATION TRENCH 2. THE CONTRACTOR SHALL CONNECT THE BUILDING DOWNSPOUTS TO THE ROOF DRAIN HEADER SYSTEM PROVIDED IN THESE PLANS.
- STORM DRAINAGE PIPES SHALL BE CORRUGATED PLASTIC PIPE UNLESS OTHERWISE NOTED ON THE PLANS.
- DENUDED AREAS MUST BE STABILIZED BASED UPON THE GROUND STABILIZATION REQUIREMENTS, AND TEMPORARY AND PERMANENT SEEDING SCHEDULES. THIS INCLUDES SLOPES, SWALES, CHANNELS, AND STOCKPILES.



**PERMEABLE PAVEMENT CONSTRUCTION STEPS:**

REFER TO THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL QUALITY – STORMWATER DESIGN MANUAL, PERMEABLE PAVEMENT SECTION (C-5), CONSTRUCTION SECTION FOR FURTHER INFORMATION.

- ENSURE ACCEPTABLE CONDITIONS FOR CONSTRUCTION – DO NOT BEGIN CONSTRUCTION ON PERMEABLE PAVEMENT UNTIL ACCEPTABLE CONDITIONS ARE PRESENT.
- EXCAVATE THE PAVEMENT AREA AND PREPARE THE SUBGRADE – CLEAR AND EXCAVATE THE AREA FOR PAVEMENT AND BASE COURSES WHILE PROTECTING AND MAINTAINING SUBGRADE INFILTRATION RATES.
- TEST THE SUBGRADE SOIL INFILTRATION RATE – CONDUCT DIRECT MEASUREMENT OF THE SOIL'S INFILTRATION RATE IMMEDIATELY AFTER EXCAVATION AND BEFORE THE AGGREGATE IS PLACED. SOIL INFILTRATION RATE MUST BE PERFORMED BY AN APPROPRIATELY QUALIFIED PROFESSIONAL. IF THE SOIL INFILTRATION RATE HAS DIMINISHED SO THAT A 72-HOUR DRAWDOWN TIME IS NO LONGER POSSIBLE, RIP OR TRENCH THE SUBGRADE FUTURE TO RESTORE THE ORIGINAL INFILTRATION RATE.
- PLACE GEOTEXTILES AND GEOMEMBRANES (IF APPLICABLE) – FOLLOW THE MANUFACTURER'S RECOMMENDATIONS FOR THE APPROPRIATE OVERLAP BETWEEN ROLLS OF MATERIAL AND FOR SECURING THE GEOTEXTILE OR GEOMEMBRANE SO THAT IT DOES NOT WRINKLE WHEN PLACING THE AGGREGATE.
- PLACE CATCH BASINS, OBSERVATION WELL(S), AND UNDERDRAIN SYSTEM – PLACE THE CATCH BASINS AND OBSERVATION WELLS PER THE DESIGN PLANS AND VERIFY THAT THE ELEVATIONS ARE CORRECT. IF AN UPTURNED ELBOW DESIGN IS USED, THEN THE UNDERDRAINS ARE PLACED FIRST.
- PLACE AND COMPACT THE AGGREGATE BASE – INSPECT ALL AGGREGATES TO ENSURE THAT THEY ARE FREE OF FINES AND CONFORM TO THE DESIGN SPECIFICATIONS.
- INSTALL THE CURB RESTRAINTS AND PAVEMENT BARRIERS – EDGE RESTRAINTS AND BARRIERS SHALL BE INSTALLED PER THE DESIGN. BEFORE MOVING TO STEP-8, ENSURE THAT THE DESIGN AND INSTALLATION ARE CONSISTENT.
- INSTALL BEDDING AND PAVEMENT COURSES – PERVIOUS CONCRETE (PC) PAVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST VERSION OF ACI 522.1 SPECIFICATIONS FOR PERVIOUS CONCRETE. INSTALLATION OF PC MAY BE INSTALLED USING THE ONE-STEP OR THE TWO-STEP METHOD (THE TWO-STEP IS MORE COMMON).
- PROTECT THE PAVEMENT THROUGH PROJECT COMPLETION – IT IS PREFERABLE TO HAVE THE PC INSTALLED AT THE END OF SITE CONSTRUCTION. IF IT IS NOT POSSIBLE, PROTECT THE PAVEMENT UNTIL PROJECT COMPLETION.

**PERMEABLE PAVEMENT POST-CONSTRUCTION INSPECTIONS AND CERTIFICATIONS:**

REFER TO THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL QUALITY – STORMWATER DESIGN MANUAL, PERMEABLE PAVEMENT SECTION (C-5), MDC-13 FOR FURTHER INFORMATION.

- AFTER INSTALLATION, A FINAL AS-BUILT INSPECTION AND CERTIFICATION SHALL BE PERFORMED THAT INCLUDES:
- ENSURING THAT THE PAVEMENT IS INSTALLED PER THE PLANS AND SPECIFICATIONS;
  - ENSURING THAT THE SURFACE IS NOT DAMAGED, AND IS FREE FROM FINES AND SEDIMENTS;
  - CHECKING THAT ALL PERVIOUS SURFACES DRAIN AWAY FROM THE PAVEMENT AND THAT SOIL AROUND THE PAVEMENT IS STABILIZED WITH VEGETATION;
  - PREPARING THE AS-BUILT PLANS THAT INCLUDE ANY CHANGES TO THE UNDERDRAINS, OBSERVATION WELL LOCATIONS, TERRACE LAYOUTS, AGGREGATE DEPTH OR STORAGE STRUCTURES, ANY REVISED CALCULATIONS, ETC.
  - TESTING THE PAVEMENT SURFACE PERMEABILITY USING THE NCSU SIMPLE INFILTRATION TEST (SEE STORMWATER DESIGN MANUAL, SECTION C-5, MAINTENANCE SECTION 18.6.4) OR OTHER APPROPRIATE TEST SUCH AS ASTM C1701 STANDARD METHOD FOR INFILTRATION RATE OF IN-PLACE PERVIOUS CONCRETE.

GROUND STABILIZATION REQUIREMENTS		
SITE AREA DESCRIPTION	STABILIZATION TIME FRAME	STABILIZATION TIME FRAME EXEMPTIONS
PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (HQW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED.
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERIMETERS AND HQW ZONES)

GRASS TYPE	AMOUNT/1000 SF.	TIME OF SEEDING	INITIAL	FERTILIZATION/1000 SF. MAINTENANCE		
RYE GRAIN	1-2 LBS.	NOV. THRU JAN.	25 LBS. 10-10-10	NA	NA	NA
BROWNTOP MILLET	1-2 LBS.	JUNE THRU AUG.	25 LBS. 10-10-10	NA	NA	NA

TEMPORARY SEEDING SCHEDULE

GRASS TYPE	AMOUNT/1000 SF.	TIME OF SEEDING	INITIAL	FERTILIZATION/1000 SF. MAINTENANCE		
BERMUDA, COMMON	1-2 LBS.	APR. THRU JUNE	25 LBS. 10-10-10	MARCH – APRIL 12 LBS. 10-10-10	EACH 4-8 WEEKS 1-2 LBS. N.	AUG. – SEPT. 12 LBS. 10-10-10
FESCUE, TALL (KENTUCKY 31)	5-7 LBS.	SEPT. THRU OCT. FEB. THRU OCT.	25 LBS. 10-10-10	FEB. – MARCH 12 LBS. 10-10-10	MAY & DEC. 1/2 TO 1 LB. N.	SEPT. – OCT. 12 LBS. 10-10-10
SERICEA LESPEDEZA (SLOPES)	1-2 LBS.	MARCH THRU APR.	25 LBS. 10-10-10	FEB. – MARCH	1/2 TO 1 LB. N.	NA

PERMANENT SEEDING SCHEDULE

**GENERAL DEVELOPMENT NOTES:**

- PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- ONCE STREETS ARE OPEN TO TRAFFIC, CONTACT TRAFFIC ENGINEERING TO REQUEST INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. ANY PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- CONTACT TRAFFIC ENGINEERING AT (910) 341-7888 TO ENSURE THAT ALL TRAFFIC SIGNALS, FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN. ADD A NOTE TO CALL TRAFFIC ENGINEERING AT (910) 341-7888 FORTY-EIGHT HOURS (48) PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
- ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING MUST BE REPLACED.
- CONTACT TRAFFIC ENGINEERING AT (910) 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
- PROJECT MUST COMPLY WITH THE CFPWA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL (910) 332-6419 FOR INFORMATION.
- IF THE CONTRACTOR DESIRES CFPWA WATER FOR CONSTRUCTION HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
- ANY IRRIGATION SYSTEM SUPPLIED BY CFPWA WATER SHALL COMPLY WITH THE CFPWA'S CONNECTION CONTROL REGULATIONS. CALL (910) 332-6419 FOR INFORMATION.
- ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CFPWA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES FOR USCFCOCHR OR ASSE.
- A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND THE PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAN.
- PERMITTING OF BUSINESS IDENTIFICATION SIGNAGE IS A SEPARATE PROCESS. NEITHER NCDOT OR THE CITY OF WILMINGTON WILL ALLOW OBSTRUCTIONS WITHIN THE RIGHT-OF-WAY.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OR-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- INSTALL REFLECTORS PER CITY AND NCDOT STANDARDS. TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING LAYOUT PRIOR TO ACTUAL STRIPING.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN PARKING AREAS SHALL BE WHITE.

**FIRE AND LIFE SAFETY NOTES:**

- CONTRACTOR SHALL MAINTAIN AN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS DELIVERED TO THE JOB SITE.
- HYDRANT MUST BE WITHIN 150' OF THE FDC (MEASURED AS THE TRUCK DRIVES FOR PRACTICAL USE)
- FDC MUST BE WITHIN 40' OF FIRE APPARATUS PLACEMENT.
- LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE THE FDC OR FIRE HYDRANTS. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT AND FDC.
- ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
- PRIVATE UNDERGROUND FIRE LINES REQUIRE A SEPARATE UNDERGROUND FIRE LINE PERMIT FROM THE WILMINGTON FIRE AND LIFE SAFETY DIVISION 910-343-0696.
- ALL ISOLATION VALVES WITHIN THE 'HOT BOX' SHALL BE ELECTRICALLY SUPERVISED. PLEASE WORK CLOSELY WITH YOUR FIRE SPRINKLER AND ALARM INSTALLER IN REGARDS TO RUNNING WIRE FOR TAMPER SWITCH.

BUILDING TYPE: TYPE V-B



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 613 SURREY ST, WILMINGTON, NC

GENERAL NOTES

REV	DATE	DESCRIPTION	JRC	JFB	INIT
C	6/15/18	CLARIFIED ANNOTATION NOTE AND ADDED PC NOTES			
B	2/19/18	RELEASE FOR CITY OF WILMINGTON TRC SECOND REVIEW			
A	1/29/18	INITIAL RELEASE FOR CITY OF WILMINGTON STORMWATER REVIEW			

OWNER:  
 HOURGLASS STUDIOS, LLC  
 521 3RD ST S  
 WILMINGTON, NC 28401

APPROVED: JRC	PROJECT: 435-04
CHECKED: JBP	SCALE: NTS
DESIGNED: FBJC	RELEASE: PERMITTING

SHEET  
 G-01

WILMINGTON  
 Approved Construction Plan  
 Name: \_\_\_\_\_ Date: \_\_\_\_\_  
 Planning: \_\_\_\_\_  
 Traffic: \_\_\_\_\_  
 Fire: \_\_\_\_\_

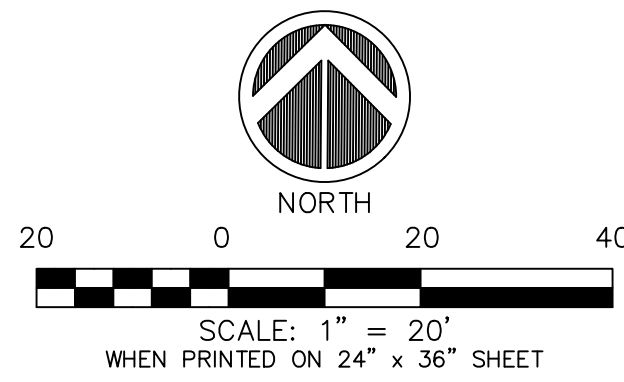
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BEFORE YOU DIG, CALL  
 North Carolina 811  
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WILMINGTON  
 Public Services • Engineering Division  
 APPROVED STORMWATER MANAGEMENT PLAN  
 Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
 Signed: \_\_\_\_\_

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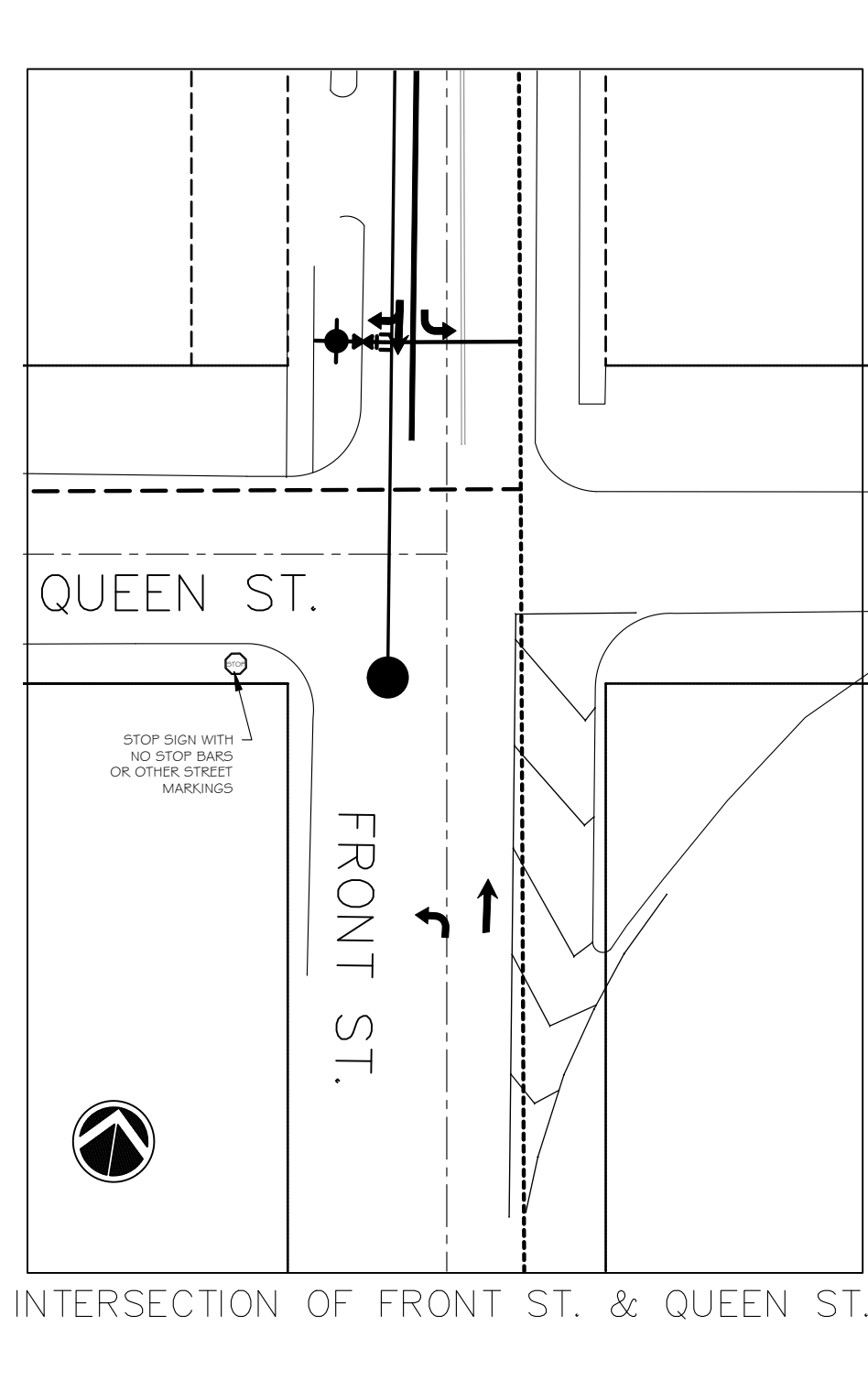
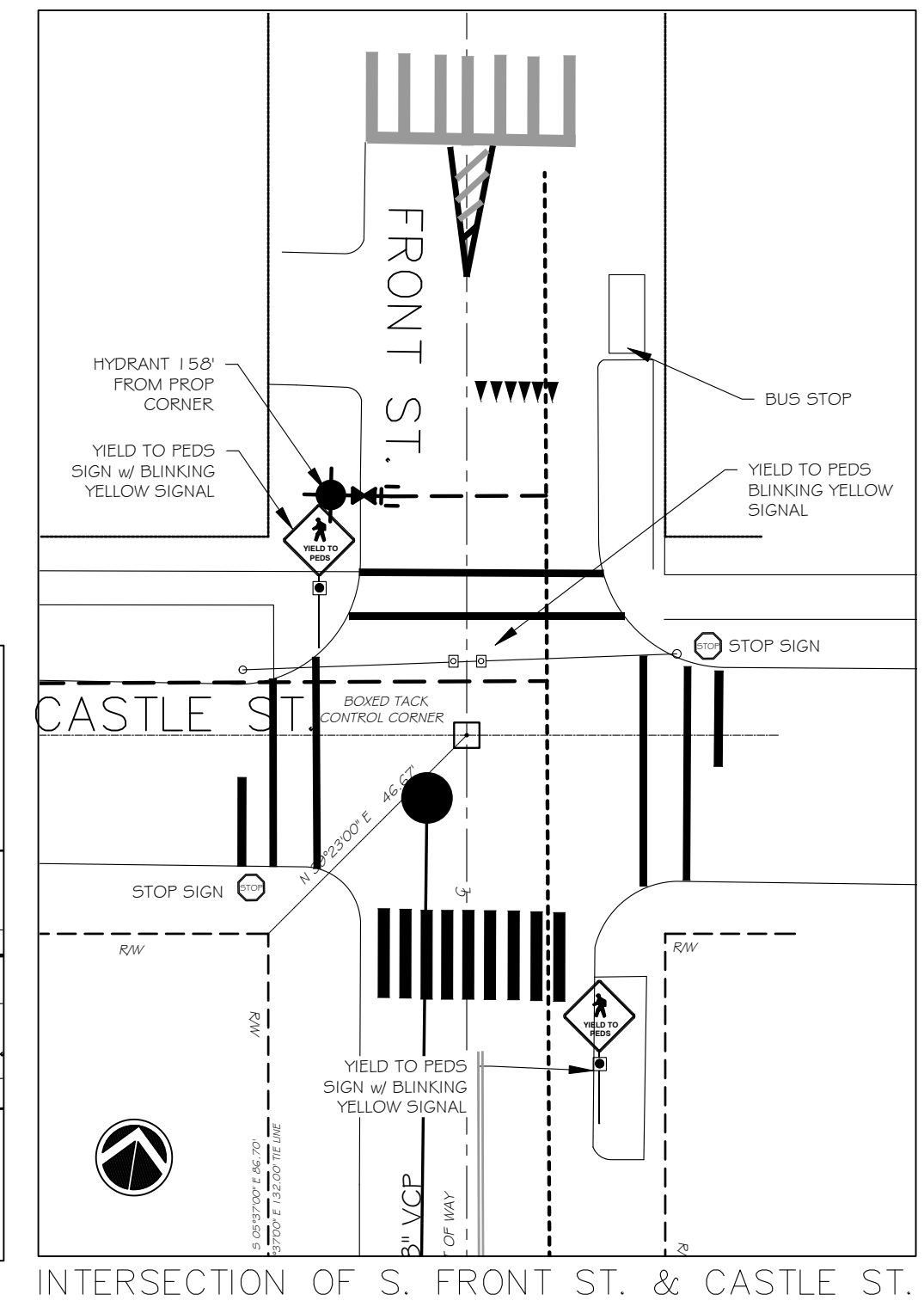
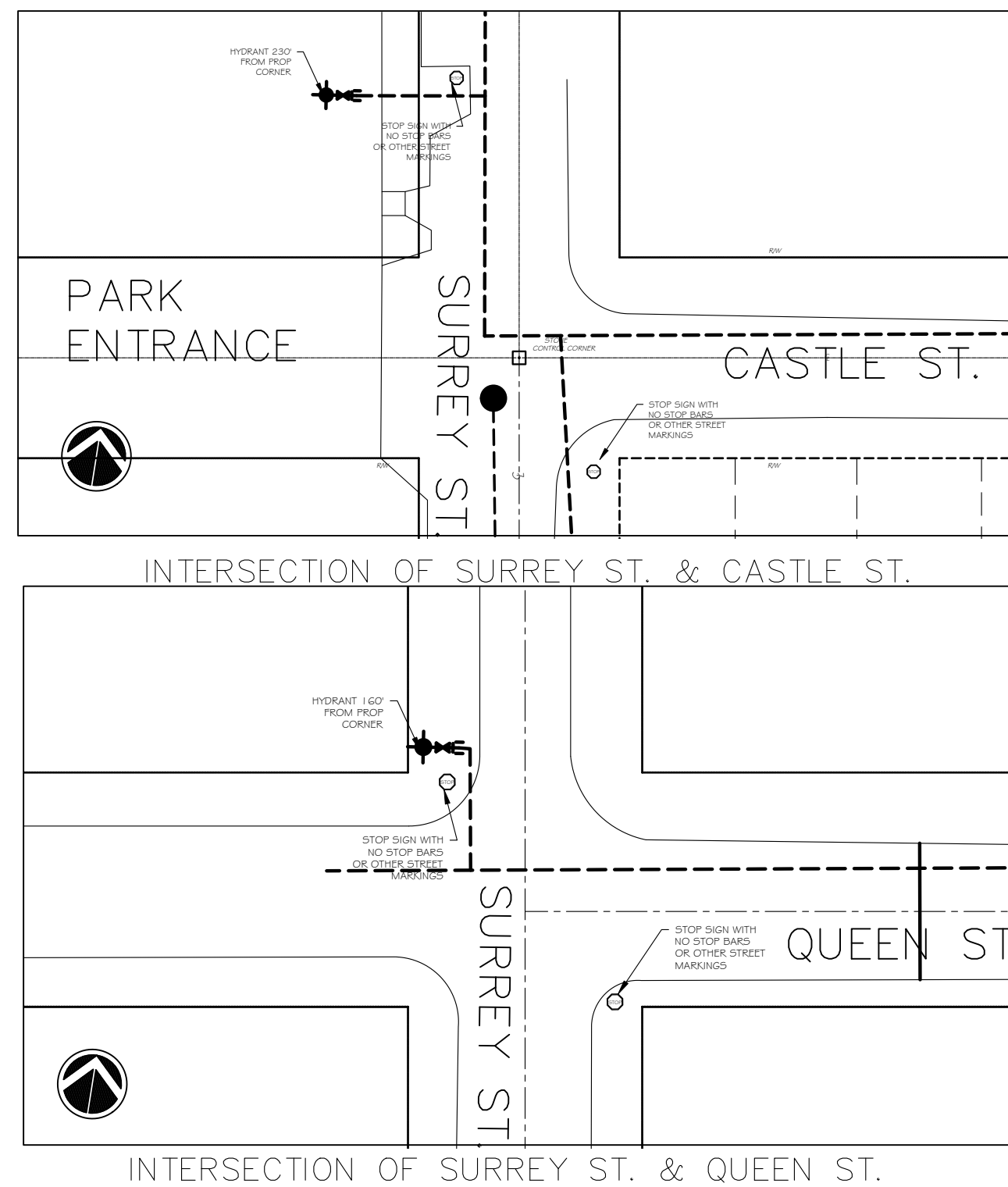
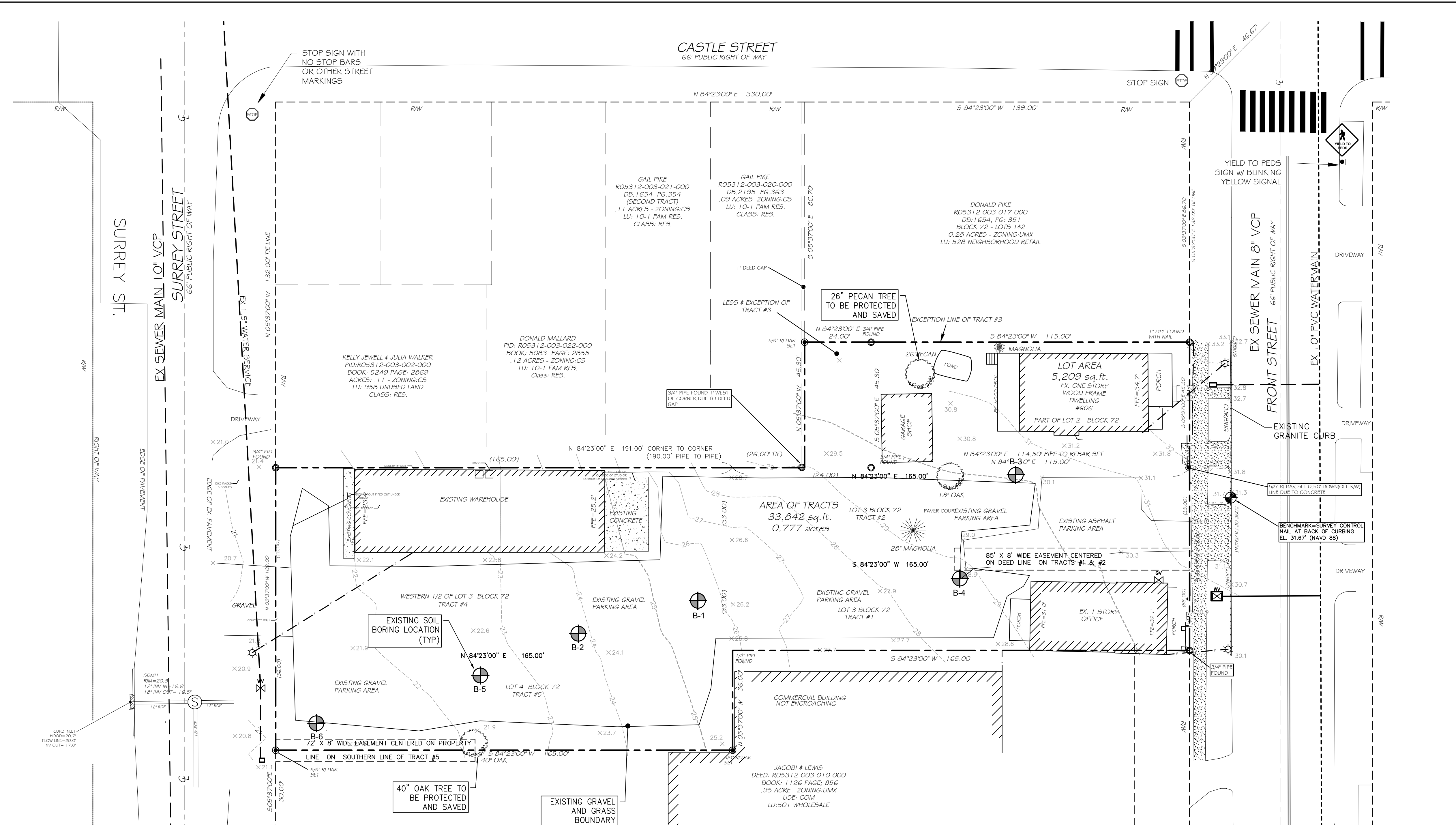


**SUBJECT PROPERTY PARCELS**

- TRACT #1**  
HOURGLASS STUDIOS LLC  
PID: R05312-003-014-000  
BOOK: 5961 PAGE: 2068  
.125 ACRES - ZONING:UMX  
LU: 730-BUSINESS  
Class: COM.
- TRACT #2**  
HOURGLASS STUDIOS LLC  
PID: R05312-003-015-000  
BOOK: 5961 PAGE: 2068  
.125 ACRES - ZONING:UMX  
LU: 958-UNUSED LAND  
Class: COM.
- TRACT #3**  
HOURGLASS STUDIOS LLC  
PID: R05312-003-016-000  
BOOK: 5961 PAGE: 2068  
.153 ACRES - ZONING:UMX  
LU: 10-1 FAM RES.  
Class: RES.
- TRACT #4**  
HOURGLASS STUDIOS LLC  
PID: R05312-003-003-000  
BOOK: 5961 PAGE: 2068  
2.97 ACRES - ZONING:UMX  
LU: 521-Retail-Bldg Materials  
Class: COM.
- TRACT #5**  
HOURGLASS STUDIOS LLC  
PID: R05312-003-004-000  
BOOK: 5961 PAGE: 2068  
.1329 ACRES - ZONING:UMX  
LU: 958-UNUSED LAND  
Class: COM.

**LEGEND**

- PROPERTY BOUNDARY
- BLDG. SETBACKS
- ROW
- PARCELS
- 22 --- EXISTING CONTOURS
- EXISTING OVERHEAD POWER
- X 26.6 --- EXISTING SPOT ELEVATION
- ⊕ B-2 --- SOIL BORE LOCATION



**BUILT UPON AREA (BUA) TABLE**

EXISTING ON-SITE BUA	= 5,880 SF
ON-SITE BUILDINGS	= NONE
ON-SITE STREETS	= NONE
ON-SITE PARKING	= 17,225 SF
ON-SITE SIDEWALK	= NONE
OTHER ON-SITE	= 745 SF
TOTAL	= 23,850 SF
EXISTING OFF-SITE BUA AREA (R/W FRONTAGE)	= NONE
OFF-SITE BUILDINGS	= NONE
OFF-SITE STREETS	= NONE
OFF-SITE PARKING	= NONE
OFF-SITE SIDEWALK (FRONT ST)	= 668 SF
OTHER OFF-SITE, DRIVEWAY (FRONT ST)	= 252 SF
TOTAL	= 920 SF
PROPERTY CONDITIONS	= NONE
ON-SITE DRAINAGE AREA	= 33,840 SF
OFF-SITE DRAINAGE AREA	= NONE
TOTAL DRAINAGE AREA	= 33,840 SF
EXISTING ON-SITE DENSITY	= 23,850 SF / 33,840 SF (100) = 70.48%

**SOIL BORING DATA**

LOCATION	SHWT DEPTH	GW DEPTH	INFILTRATION RATE
B-1	55 INCHES	66 INCHES	1.57 INCHES PER HOUR
B-2	33 INCHES	36 INCHES	3.12 INCHES PER HOUR
B-3	78 INCHES	94 INCHES	14.67 INCHES PER HOUR
B-4	72 INCHES	82 INCHES	4.96 INCHES PER HOUR
B-5	32 INCHES	36 INCHES	3.87 INCHES PER HOUR
B-6	24 INCHES	34 INCHES	1.13 INCHES PER HOUR

SOIL PROFILE AND HYDRAULIC INFORMATION PROVIDED BY ECS SOUTHEAST, LLP  
LOCATED AT 6714 NETHERLANDS DRIVE, WILMINGTON, NC 28405.

**EXISTING SITE VEGETATION CONSISTS ONLY OF TREES INCLUDED ON THIS PLAN SHEET**

**NOTES:**  
SURVEY AND TOPOGRAPHICAL INFORMATION PROVIDED BY POLARIS SURVEYING, PLLC  
202 EAST BEDFORD RD. WILMINGTON, NC 28411  
PH(910)-616-4210 FIRM LIC# 0756

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**CITY OF WILMINGTON**  
Public Services • Engineering Division  
APPROVED STORMWATER MANAGEMENT PLAN

Approved Construction Plan  
Name: \_\_\_\_\_ Date: \_\_\_\_\_  
Planning: \_\_\_\_\_  
Traffic: \_\_\_\_\_  
Fire: \_\_\_\_\_

Date: \_\_\_\_\_ Permit #: \_\_\_\_\_  
Signed: \_\_\_\_\_

ISSUED FOR AGENCY REVIEW ONLY

NOT RELEASED FOR CONSTRUCTION

**BEFORE YOU DIG, CALL**  
**North Carolina 811**  
www.nc811.org

**Coastal Land Design, PLLC**  
Civil Engineering / Landscape Architecture  
Land Planning / Construction Management  
NCBELS Firm License P-0369  
P.O. Box 1172 Phone: 910-254-9333  
Wilmington, NC 28402 Fax: 910-254-0502  
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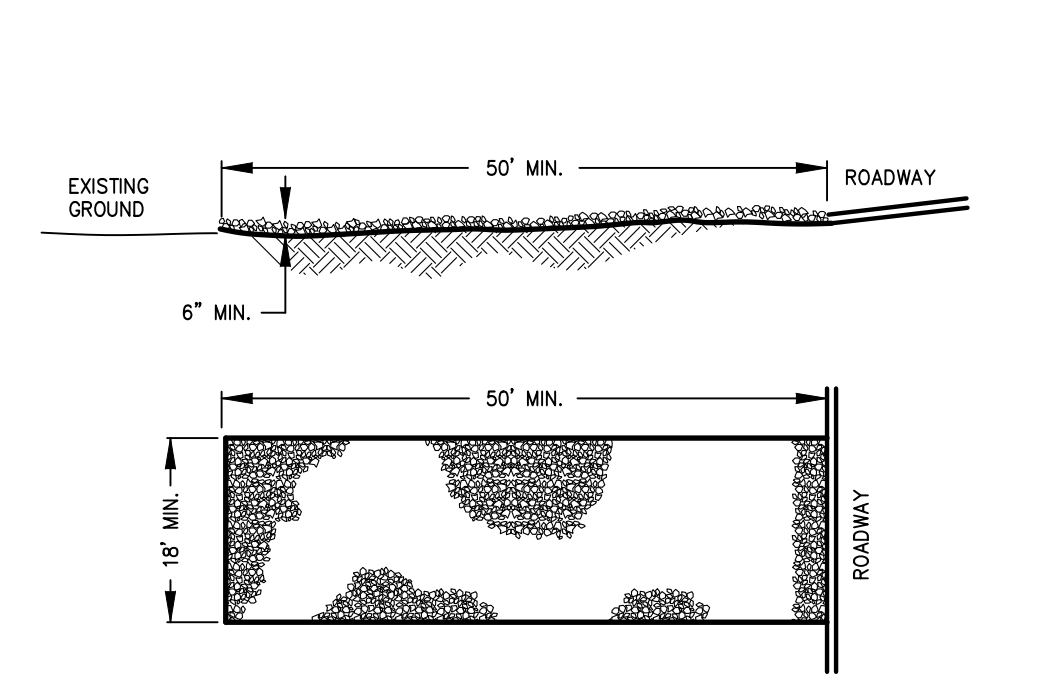
**HOURGLASS STUDIOS**  
**613 SURREY ST, WILMINGTON, NC**  
**EXISTING SITE CONDITIONS**

REV	DATE	DESCRIPTION
C	6/15/18	CORRECTED TEXT ERRORS AND ADDED TEXT CLARIFICATION
B	2/19/18	RELEASE FOR CITY OF WILMINGTON IRC SECOND REVIEW
A	1/29/18	INITIAL RELEASE FOR CITY OF WILMINGTON STORMWATER REVIEW
		JRC
		JFB
		JRC
		INIT

**OWNER:**  
HOURGLASS STUDIOS, LLC  
521 3RD ST S  
WILMINGTON, NC 28401

APPROVED: JRC PROJECT: 435-04  
CHECKED: JRC SCALE: 1"=20'  
DESIGNED: FB/JC RELEASE: TRC

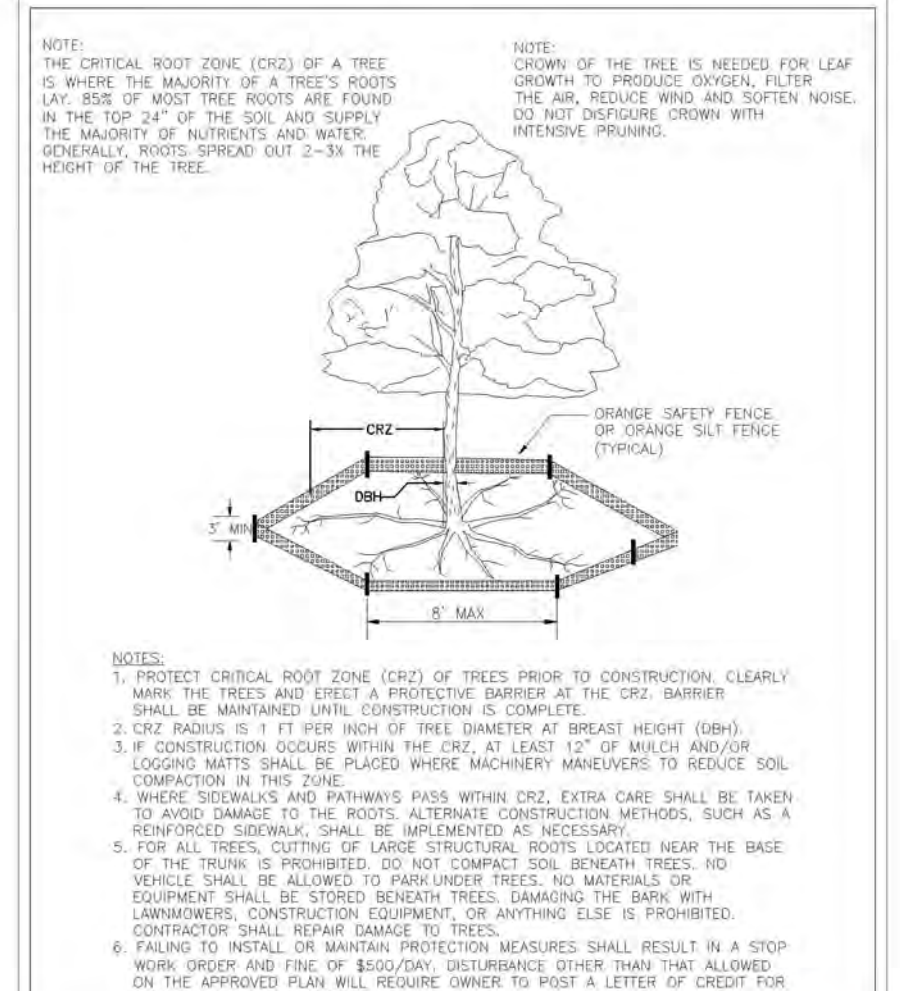
SHEET  
**EX-01**



- CONSTRUCTION ENTRANCE CONSTRUCTION SPECIFICATIONS:**
- (1) CLEAR THE ENTRANCE AND EXIST AREA OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL.
  - (2) PLACE THE GRAVEL TO THE SPECIFIC GRADE AND DIMENSIONS SHOWN ON THE PLANS, AND SMOOTH IT.
  - (3) PROVIDE DRAINAGE TO CARRY WATER TO A SEDIMENT TRAP OR OTHER SUITABLE OUTLET.
  - (4) TRAFFIC WILL ENTER OR LEAVE THE CONSTRUCTION SITE ONTO A PUBLIC STREET, FILTER FABRIC OR COMPACTED CRUSHER RUN STONE MAY BE USED AS A BASE FOR THE CONSTRUCTION ENTRANCE.
  - (5) THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC STREETS OR EXISTING PAVEMENT. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS WARRANT AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT, ANY SEDIMENT SLOTTED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC STREETS MUST BE REMOVED IMMEDIATELY.
  - (6) WHEN APPROPRIATE, WHEELS MUST BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTERING A PUBLIC STREET. WHEN WASHING IS REQUIRED, IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN SOIL STABILIZATION FABRIC SHALL BE USED.
  - (7) NDOT MAY REQUIRE A STANDARD COMMERCIAL DRIVEWAY TO ACCESS THE CONSTRUCTION SITE IF THE DRIVEWAY IS ON A THROUGHFARE.

- CONSTRUCTION ENTRANCE MAINTENANCE:**
- (1) MAINTAIN THE GRAVEL PAD IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. ADDRESS THE SOP WITH 2" STONE AS NEEDED.
  - (2) AFTER EACH RAINFALL, INSPECT ANY STRUCTURE USED TO TRAP SEDIMENT AND CLEAN IT OUT AS NECESSARY.
  - (3) IMMEDIATELY REMOVE ALL OBJECTIONABLE MATERIALS SPILLED, WASHED, OR TRACKED ONTO PUBLIC ROADS.

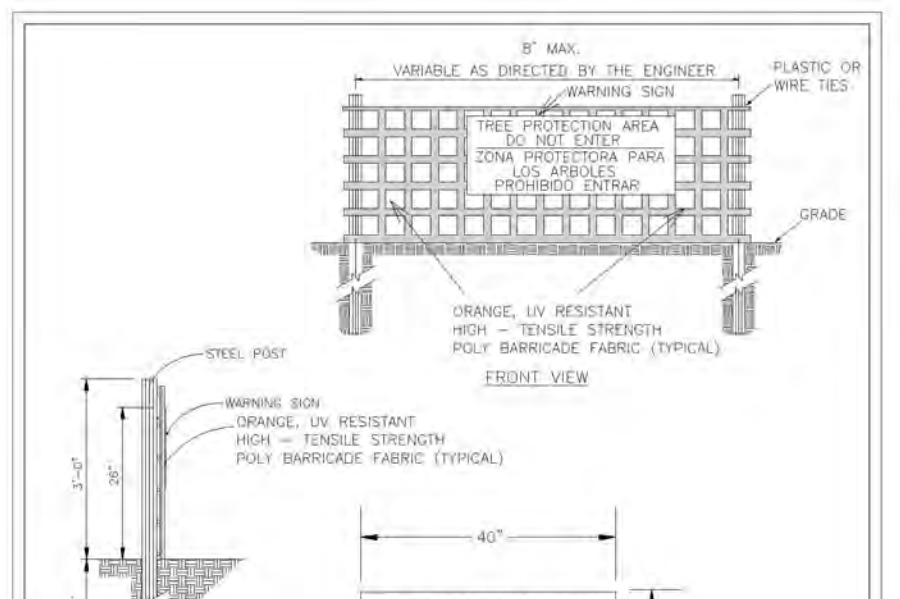
**CONSTRUCTION ENTRANCE DETAIL**  
NOT TO SCALE



**STANDARD DETAIL**  
**TREE PROTECTION DURING CONSTRUCTION**  
SHEET 1 of 2

DATE: JAN 2013  
DRAWN BY: JRC  
CHECKED BY: BOB P.F.  
SCALE: NOT INDICATED

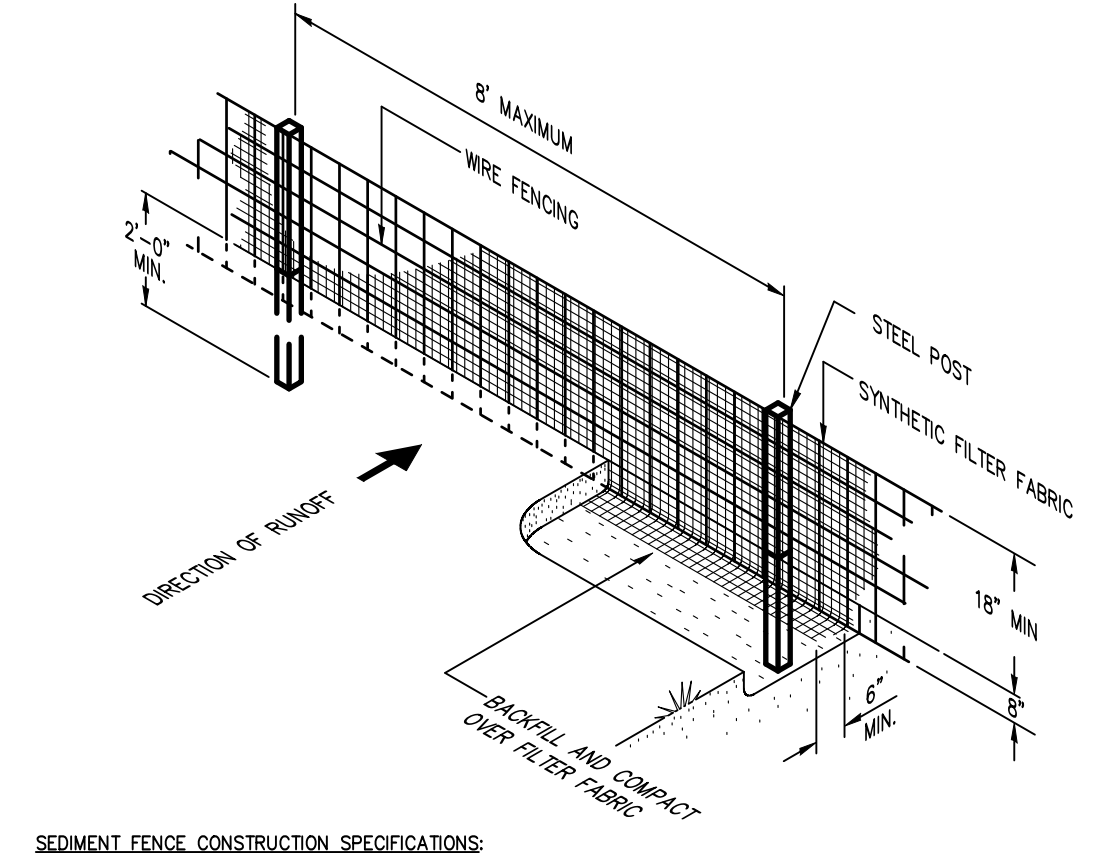
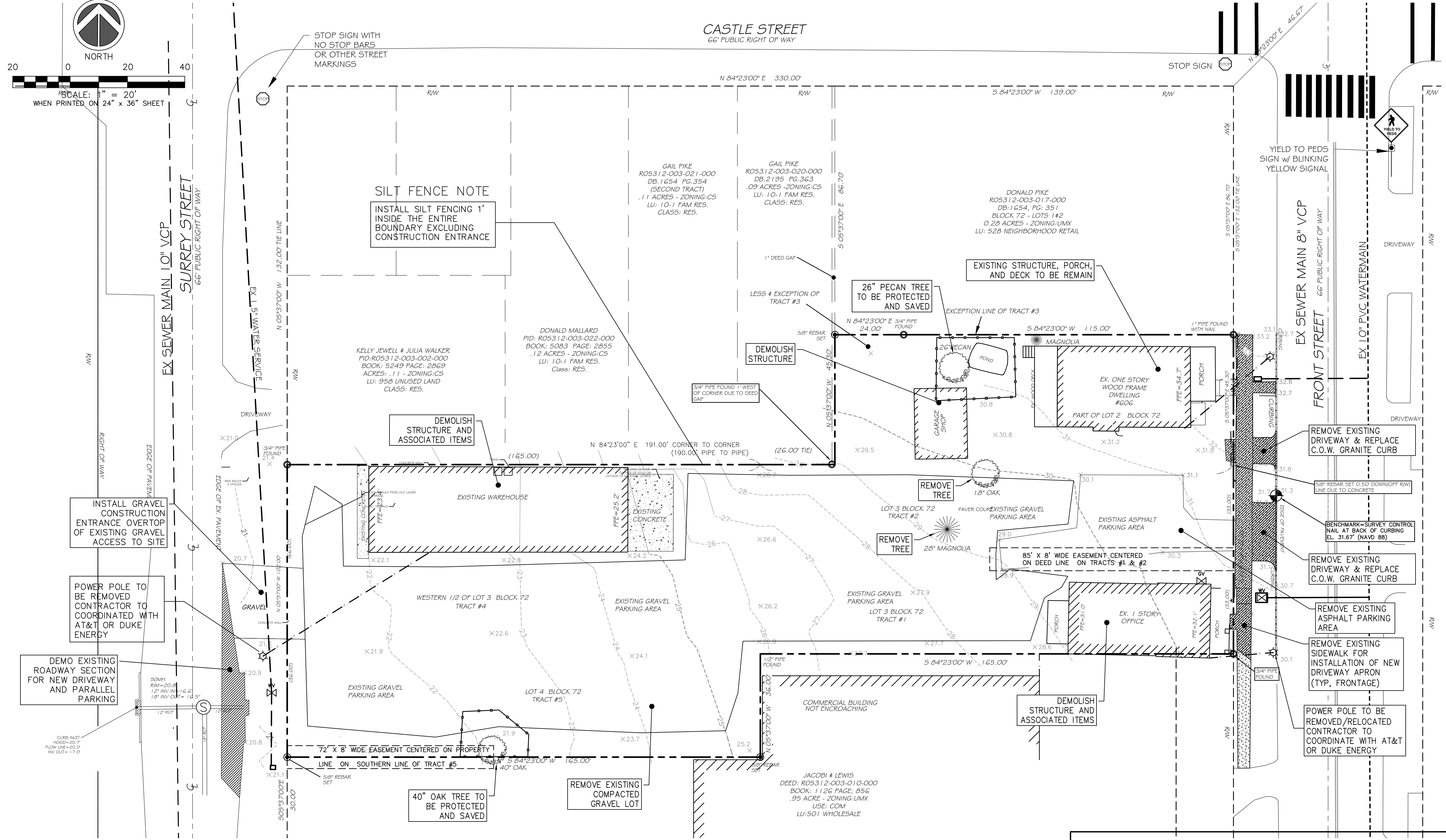
SD 15-09



**STANDARD DETAIL**  
**TREE PROTECTION DURING CONSTRUCTION**  
SHEET 2 of 2

DATE: JAN 2013  
DRAWN BY: JRC  
CHECKED BY: BOB P.F.  
SCALE: NOT INDICATED

SD 15-09



- SEDIMENT FENCE CONSTRUCTION SPECIFICATIONS:**
- (1) SILT FENCE IS TO BE TRENCHED IN WITH TRENCHING MACHINE IN ORDER TO HAVE THE MINIMUM AREA OF DISTURBANCE (NON-EVASIVE) UPON INSTALLATION.
  - (2) HEIGHT OF SEDIMENT FENCE IS NOT TO EXCEED 18" ABOVE THE GROUND SURFACE.
  - (3) FILTER FABRIC TO BE CONSTRUCTED FROM CONTINUOUS ROLL OUT TO LENGTH TO AVOID JOINTS. IF JOINTS ARE NECESSARY, FILTER CLOTH IS TO BE SECURELY FASTENED TO SUPPORT POST WITH OVERLAP TO THE NEXT POST.
  - (4) FILTER FABRIC TO BE SUPPORTED BY WIRE MESH FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY STAPLES AT LEAST 1' LONG OR THE WIRE. EXTEND WIRE MESH SUPPORT TO THE BOTTOM OF THE TRENCH.
  - (5) A MAXIMUM OF 8" STAKE SPACING IS ALLOWED WHEN WIRE MESH SUPPORT FENCE IS USED. SUPPORT POST SHOULD BE DRIVEN SECURELY INTO THE GROUND A DISTANCE OF AT LEAST 18".
  - (6) EXTRA STRENGTH FILTER FABRIC WITH 8" POST SPACES DOES NOT REQUIRE WIRE MESH SUPPORT FENCE. STAPLE OR WIRE THE FILTER FABRIC DIRECTLY TO POSTS.
  - (7) EXCAVATE A TRENCH APPROXIMATELY 4" WIDE AND 8" DEEP ALONG THE PROPOSED LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
  - (8) BACKFILL TRENCH WITH COMPACT SOIL OR GRAVEL PLACED OVER THE FILTER FABRIC.
  - (9) DO NOT ATTACH FILTER FABRIC TO EXISTING TREES.

**Proposed Significant Trees to be Removed**

Tree Name	# of Trees	DBH	% Mitigation	Total DBH
MAGNOLIA	1	28"	100	28
<b>Total DBH of Removed Significant Trees</b>	<b>=</b>	<b>28"</b>		
<b>Total Trees Req. for Mitigation</b>	<b>=</b>	<b>3</b>		<b>= 19</b>

Sec. 18-460 b. Significant trees. The total number of replacement trees shall be determined by multiplying the total DBH of the removed significant trees by two (2) times the percentage for the type of tree in Table IV and dividing by three (3).

**Credit for Preserved Trees (Sec. 18-448 Table 1)**

# of Preserved Trees	Size (DBH)	Credit Given	Resulting Credit
1	40"	DBH/6	7
1	26"	DBH/7	4
<b>Total resulting Credit for 2 Preserved Trees</b>	<b>=</b>	<b>=</b>	<b>11</b>

**BUILT UPON AREA (BUA) TABLE**

EXISTING ON-SITE BUA		EXISTING OFF-SITE BUA AREA (R/W FRONTAGE)	
ON-SITE BUILDINGS	= 5,880 SF	OFF-SITE BUILDINGS	= NONE
ON-SITE STREETS	= NONE	OFF-SITE STREETS	= NONE
ON-SITE PARKING	= 17,225 SF	OFF-SITE PARKING	= NONE
ON-SITE SIDEWALK	= NONE	OFF-SITE SIDEWALK (FRONT ST)	= 668 SF
OTHER ON-SITE	= 745 SF	OTHER OFF-SITE, DRIVEWAY (FRONT ST)	= 252 SF
<b>TOTAL</b>	<b>= 23,850 SF</b>	<b>TOTAL</b>	<b>= 920 SF</b>

DEMOLISHED ON-SITE BUA		DEMOLISHED OFF-SITE BUA (R/W FRONTAGE)	
ON-SITE BUILDINGS	= 4,390 SF	OFF-SITE BUILDINGS	= NONE
ON-SITE STREETS	= NONE	OFF-SITE STREETS (SURREY ST)	= 406 SF
ON-SITE PARKING	= 17,225 SF	OFF-SITE PARKING	= NONE
ON-SITE SIDEWALK	= NONE	OFF-SITE SIDEWALK (FRONT ST)	= 668 SF
OTHER ON-SITE	= 745 SF	OTHER OFF-SITE, DRIVEWAY (FRONT ST)	= 252 SF
<b>TOTAL</b>	<b>= 22,360 SF</b>	<b>TOTAL</b>	<b>= 1,326 SF</b>

EXISTING ON-SITE BUA TO REMAIN		EXISTING OFF-SITE BUA TO REMAIN (R/W FRONTAGE)	
ON-SITE BUILDINGS	= 1,490 SF	OFF-SITE BUILDINGS	= NONE
ON-SITE STREETS	= NONE	OFF-SITE STREETS	= 0 SF
ON-SITE PARKING	= NONE	OFF-SITE PARKING	= NONE
ON-SITE SIDEWALK	= NONE	OFF-SITE SIDEWALK	= 0 SF
OTHER ON-SITE	= 1,490 SF	OTHER OFF-SITE, DRIVEWAY	= 0 SF
<b>TOTAL</b>	<b>= 1,490 SF</b>	<b>TOTAL</b>	<b>= 0 SF</b>

- DEMOLITION NOTES**
1. CONTRACTOR TO VERIFY UTILITIES ABOVE AND BELOW GROUND PRIOR TO STARTING DEMOLITION WORK.
  2. CONTRACTOR TO OBTAIN DEMOLITION PERMITS PRIOR TO BEGINNING WORK.
  3. CONTRACTOR TO COORDINATE WITH THE CITY AND UTILITY PROVIDERS PRIOR TO COMMENCING DEMOLITION WORK.
  4. ALL DEMOLITION WASTE MATERIAL MAY BE TEMPORARILY STOCKPILED ON SITE BUT MUST BE PROTECTED FROM EROSION AND SITUATED SUCH THAT IT IS NOT A SAFETY HAZARD. DEMOLITION WAS MUST ULTIMATELY BE REMOVED FROM SITE AND DISPOSED OF IN THE APPROPRIATE CONSTRUCTION DEBRIS-HANDLING FACILITY.
  5. ALL STRUCTURES AND BUILT UPON AREA ON THE SITE SHALL BE REMOVED WITH THE EXCEPTION OF THE BUILDING, PORCH, AND DECK LOCATED IN THE NORTHEAST PROPERTY CORNER.
  6. TREE-PROTECTION FENCING MUST BE INSTALLED AROUND THE 40-INCH OAK TREE AND 26-INCH PECAN TREE PRIOR TO DEMOLITION WORK. THE TREES SHALL BE PROTECTED FROM DAMAGE THROUGHOUT THE LIFE OF THE PROJECT.
  7. OBJECTIONABLE VEGETATION MAY BE REMOVED AS NEEDED AND DISPOSED OF IN THE APPROPRIATE DEBRIS-HANDLING FACILITY.
  8. EXISTING SITE PLAN AND IMPERVIOUS DELINEATION PROVIDED BY TOPOGRAPHICAL, UTILITY AND SITE SURVEY PERFORMED BY POLARIS SURVEYING, PLLC LOCATED AT 202 EAST BEDFORD ROAD, WILMINGTON, NC 28411.

**Coastal Land Design, PLLC**  
Civil Engineering / Landscape Architecture  
Land Planning / Construction Management  
NCBELS Firm License P-0369  
P.O. Box 1172 Phone: 910-254-9333  
Wilmington, NC 28402 Fax: 910-254-0502  
www.cldesign.com

**HOURGLASS STUDIOS**  
**613 SURREY ST, WILMINGTON, NC**  
**DEMOLITION PLAN**

REV	DATE	DESCRIPTION	JRC	JFB	JRC	INIT
A	1/29/18	INITIAL RELEASE FOR CITY OF WILMINGTON STORMWATER REVIEW				
B	2/19/18	RELEASE FOR CITY OF WILMINGTON TRC SECOND REVIEW				
C	6/15/18	ASBID TEXT CLARIFICATION AND EXISTING BUA TO REMAIN TABLE				

**OWNER:**  
**HOURGLASS STUDIOS, LLC**  
521 3RD ST S  
WILMINGTON, NC 28401

APPROVED: JFB PROJECT: 435-04  
CHECKED: JRC SCALE: 1"=20'  
DESIGNED: FBUC RELEASE: TRC

**SHEET**  
**DEMO-01**

ISSUED FOR AGENCY REVIEW ONLY

NOT RELEASED FOR CONSTRUCTION

**BEFORE YOU DIG, CALL**

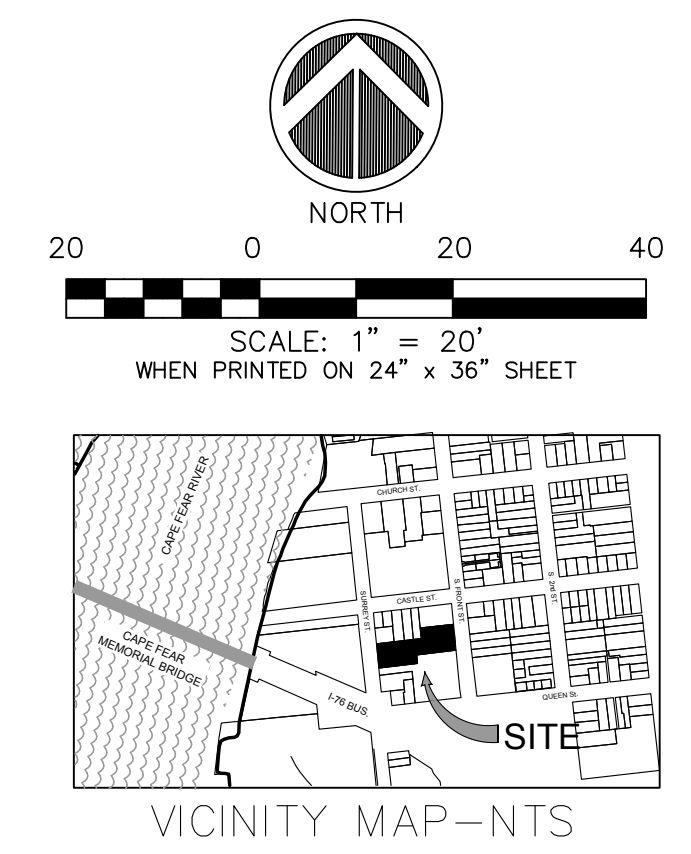
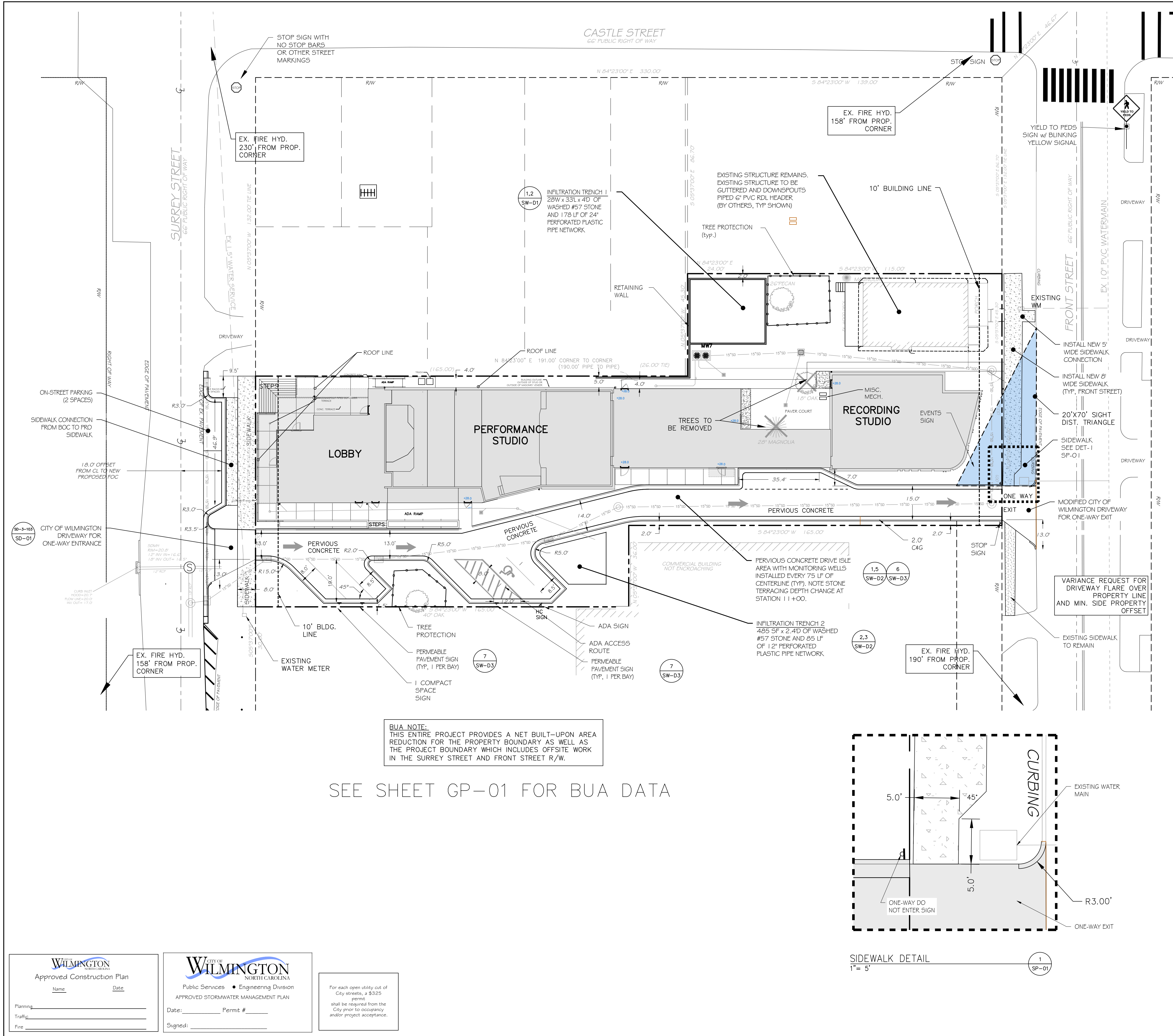
**North Carolina 811**  
www.nc811.org

For each open utility out of City records, a 30-day permit shall be required from the City prior to occupancy and/or project acceptance.

**WILMINGTON**  
Approved Construction Plan  
Name: \_\_\_\_\_ Date: \_\_\_\_\_

Flaming: \_\_\_\_\_  
Traffic: \_\_\_\_\_  
Fire: \_\_\_\_\_

**WILMINGTON**  
Public Services • Engineering Division  
APPROVED STORMWATER MANAGEMENT PLAN  
Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
Signed: \_\_\_\_\_



**SITE DATA**

PROJECT: HOURGLASS STUDIOS  
 ADDRESS: 606,610,612 S. FRONT STREET  
 611,613 SURREY STREET  
 OWNER: HOURGLASS STUDIOS, LLC.  
 521 3RD ST S  
 WILMINGTON, NC 28401

PID#:  
 R05312-003-003-000, R05312-003-004-000,  
 R05312-003-016-000, R05312-003-015-000  
 R05312-003-014-000, R05312-003-014-000

D.B. BK 5961, PG 2068 BK 6035, PG 1750  
 ZONING: UMX URBAN MIXED-USE  
 LAND USE: COMMERCIAL/RESIDENTIAL  
 PARCEL SIZE: 0.781 AC (34,016 SF)  
 FLOOD ZONE: ZONE X-FIRM PANEL #37203117 K  
 CAMA LAND USE: URBAN

**BUILDING DATA**  
 PROPOSED BUILDING: 11,992 SF  
 PROPOSED BLDG HT: 37 FT  
 MAX BLDGHT: 45 FT  
 NUMBER OF STORIES: 1 STORY  
 BUILDING TYPE: TYPE V-B

**BUILDING COVERAGE**  
 TOTAL BLDG FOOTPRINT: 11,992 SF  
 BLDG LOT COVERAGE: 0.38%  
 ALLOWED COVERAGE: NA

**BUILDING SETBACKS:**  
 FRONT:  
 SEC. 18-204-UMX c(2)c.  
 In no case shall front setbacks adj. to the primary street(s) or an internal street exceed (10) feet.  
 SIDE:  
 SEC. 18-204-UMX c(2)a.  
 Inside the 1945 corporate limits, no setbacks are req'd except where abutting a single-family res. district.  
 NORTH SIDE: 5' REQUIRED  
 PARKING:  
 SEC. 18-204-UMX c(6)a.  
 There are no min. parking req. Parking shall not exceed the max.parking req. established for any use in ARTICLE 9.  
 PARKING PROVIDE: 7 SPACE TOTAL (INCLUDES 1 ADA SPACE)  
 WATER AND SEWER CAPACITY  
 WATER: 970 GPD (CURRENT)  
 WATER: 1,750 GPD (PROPOSED)  
 SEWER: 970 GPD (CURRENT)  
 SEWER: 1,750 GPD (PROPOSED)

**TRASH COLLECTION**  
 PRIVATE ROLL CART. VENDOR COLLECTION FOR EVENTS.  
**EVENTS SIGN**  
 EVENTS SIGN WILL REQUIRE AN INDIVIDUAL SIGN PERMIT

ISSUED FOR AGENCY REVIEW ONLY

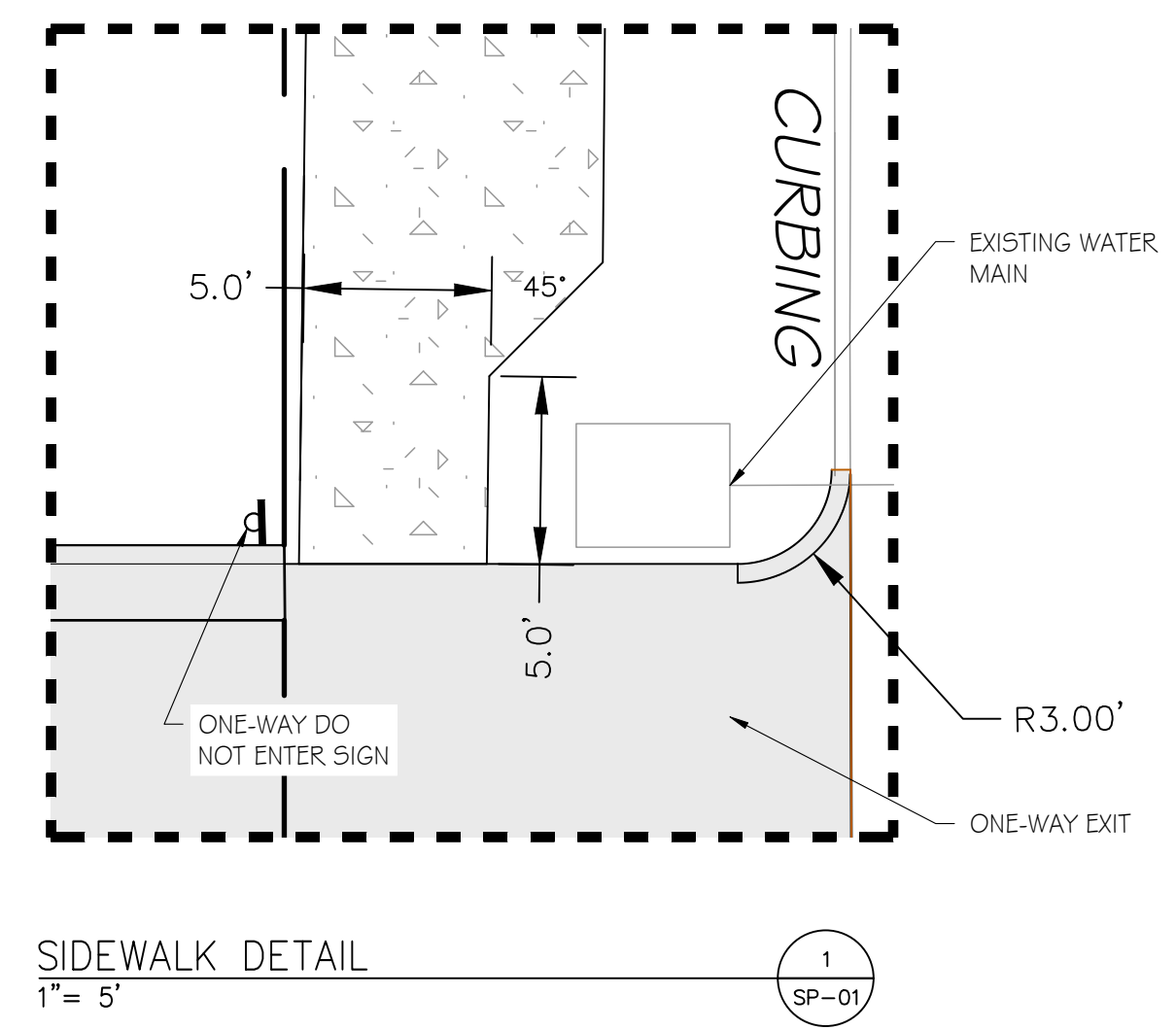
NOT RELEASED FOR CONSTRUCTION

**BEFORE YOU DIG, CALL**

**North Carolina 811**  
 www.nc811.org

**BUA NOTE:**  
 THIS ENTIRE PROJECT PROVIDES A NET BUILT-UPON AREA REDUCTION FOR THE PROPERTY BOUNDARY AS WELL AS THE PROJECT BOUNDARY WHICH INCLUDES OFFSITE WORK IN THE SURREY STREET AND FRONT STREET R/W.

SEE SHEET GP-01 FOR BUA DATA



**Coastal Land Design, PLLC**  
 Civil Engineering / Landscape Architecture  
 Land Planning / Construction Management  
 NCBELS Firm License P-0369  
 P.O.Box 1172 Phone: 910-254-9333  
 Wilmington, NC 28402 Fax: 910-254-0502  
 www.cldeng.com

**HOURGLASS STUDIOS**  
**613 SURREY ST, WILMINGTON, NC**  
**SITE PLAN**

REV	DATE	DESCRIPTION
E	8/6/18	ADJUSTED SIDEWALK WIDTH TAPER ADJACENT TO COMMERCIAL DRIVEWAY
D	7/19/18	SHOWED SIDEWALK CONTINUING THROUGH DRIVEWAY APPROX
C	6/7/18	MINOR REVISIONS WITH UPDATE PER COW SW COMMENTS
B	2/19/18	RELEASE FOR CITY OF WILMINGTON TRC SECOND REVIEW
A	1/29/18	INITIAL RELEASE FOR CITY OF WILMINGTON STORMWATER REVIEW

**OWNER:**  
 HOURGLASS STUDIOS, LLC  
 521 3RD ST S  
 WILMINGTON, NC 28401

APPROVED: JFB PROJECT: 435-04  
 CHECKED: JRC SCALE: 1"=20'  
 DESIGNED: FBUC RELEASE: TRC

**SHEET**  
**SP-01**

**WILMINGTON**  
 Approved Construction Plan

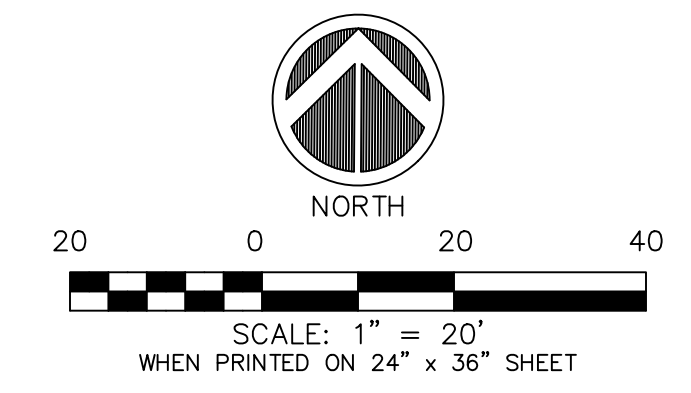
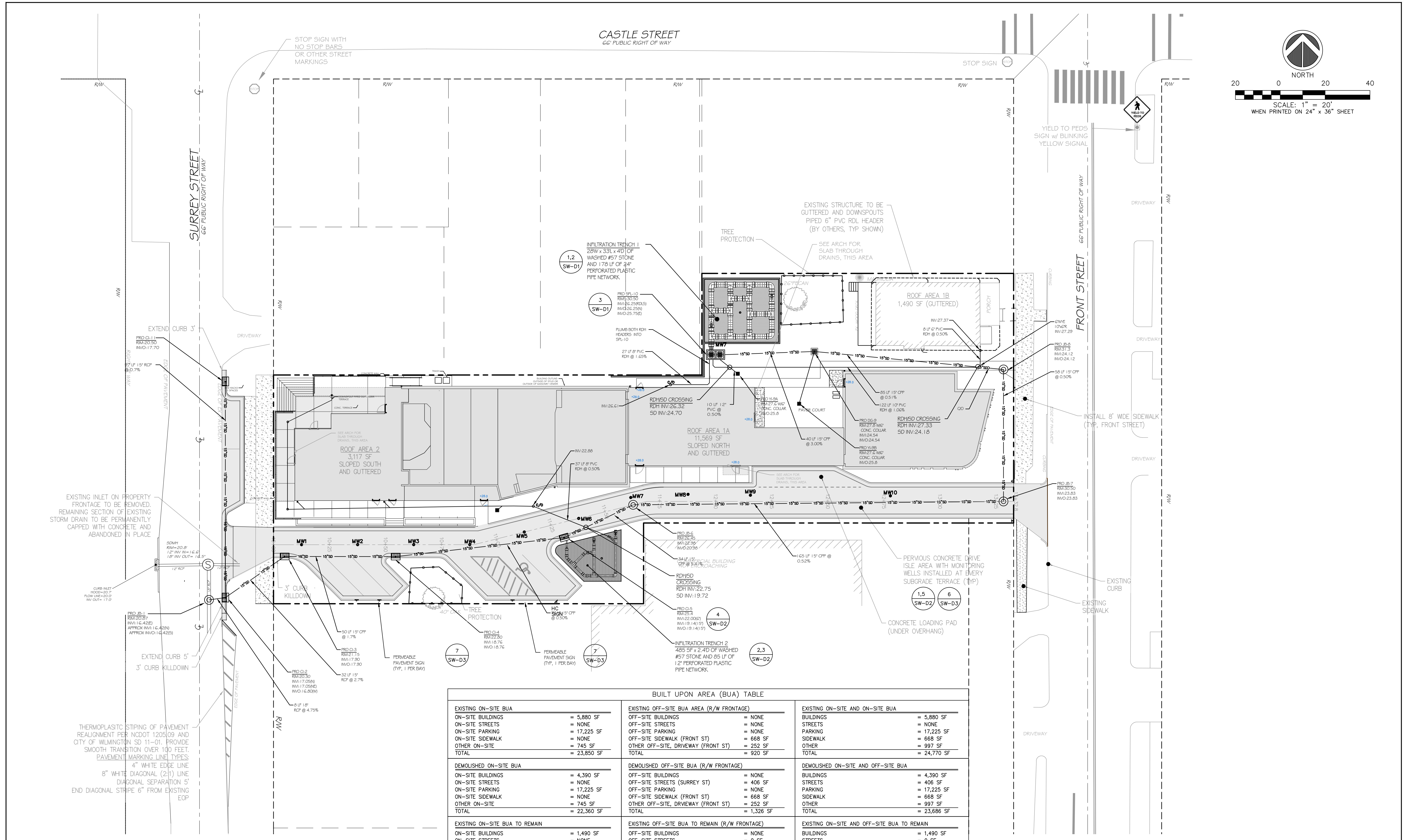
Name: \_\_\_\_\_ Date: \_\_\_\_\_

Planning: \_\_\_\_\_  
 Traffic: \_\_\_\_\_  
 Fire: \_\_\_\_\_

**WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division  
 APPROVED STORMWATER MANAGEMENT PLAN

Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
 Signed: \_\_\_\_\_

For each open utility out of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



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 www.cldeng.com

**HOURGLASS STUDIOS  
 613 SURREY ST, WILMINGTON, NC**

**DRAINAGE PLAN**

REV	DATE	DESCRIPTION
D	8/6/18	ADJUSTED SIDEWALK WIDTH TAPER ADJACENT TO COMMERCIAL DRIVEWAY
C	6/15/18	MINOR SITE PLAN MODIFICATION WITH UPDATE PER CITY SW COMMENTS
B	2/19/18	RELEASE TRC SECOND REVIEW
A	1/29/18	INITIAL RELEASE FOR CITY OF WILMINGTON STORMWATER REVIEW
JRC		
JRC		
JFB		
JRC		
INIT		

**OWNER:**  
 HOURGLASS STUDIOS, LLC  
 521 3RD ST S  
 WILMINGTON, NC 28401

BUILT UPON AREA (BUA) TABLE		
<b>EXISTING ON-SITE BUA</b>	<b>EXISTING OFF-SITE BUA (R/W FRONTAGE)</b>	<b>EXISTING ON-SITE AND ON-SITE BUA</b>
ON-SITE BUILDINGS = 5,880 SF	OFF-SITE BUILDINGS = NONE	BUILDINGS = 5,880 SF
ON-SITE STREETS = NONE	OFF-SITE STREETS = NONE	STREETS = NONE
ON-SITE PARKING = 17,225 SF	OFF-SITE PARKING = NONE	PARKING = 17,225 SF
ON-SITE SIDEWALK = NONE	OFF-SITE SIDEWALK (FRONT ST) = 668 SF	SIDEWALK = 668 SF
OTHER ON-SITE = 745 SF	OTHER OFF-SITE, DRIVEWAY (FRONT ST) = 252 SF	OTHER = 997 SF
<b>TOTAL = 23,850 SF</b>	<b>TOTAL = 920 SF</b>	<b>TOTAL = 24,770 SF</b>
<b>DEMOLISHED ON-SITE BUA</b>	<b>DEMOLISHED OFF-SITE BUA (R/W FRONTAGE)</b>	<b>DEMOLISHED ON-SITE AND OFF-SITE BUA</b>
ON-SITE BUILDINGS = 4,390 SF	OFF-SITE BUILDINGS = NONE	BUILDINGS = 4,390 SF
ON-SITE STREETS = NONE	OFF-SITE STREETS (SURREY ST) = 406 SF	STREETS = 406 SF
ON-SITE PARKING = 17,225 SF	OFF-SITE PARKING = NONE	PARKING = 17,225 SF
ON-SITE SIDEWALK = NONE	OFF-SITE SIDEWALK (FRONT ST) = 668 SF	SIDEWALK = 668 SF
OTHER ON-SITE = 745 SF	OTHER OFF-SITE, DRIVEWAY (FRONT ST) = 252 SF	OTHER = 997 SF
<b>TOTAL = 22,360 SF</b>	<b>TOTAL = 1,326 SF</b>	<b>TOTAL = 23,686 SF</b>
<b>EXISTING ON-SITE BUA TO REMAIN</b>	<b>EXISTING OFF-SITE BUA TO REMAIN (R/W FRONTAGE)</b>	<b>EXISTING ON-SITE AND OFF-SITE BUA TO REMAIN</b>
ON-SITE BUILDINGS = 1,490 SF	OFF-SITE BUILDINGS = NONE	BUILDINGS = 1,490 SF
ON-SITE STREETS = NONE	OFF-SITE STREETS = 0 SF	STREETS = 0 SF
ON-SITE PARKING = NONE	OFF-SITE PARKING = NONE	PARKING = NONE
ON-SITE SIDEWALK = NONE	OFF-SITE SIDEWALK = 0 SF	SIDEWALK = 0 SF
OTHER ON-SITE = NONE	OTHER OFF-SITE, DRIVEWAY = 0 SF	OTHER = 0 SF
<b>TOTAL = 1,490 SF</b>	<b>TOTAL = 0 SF</b>	<b>TOTAL = 1,490 SF</b>
<b>NEW ON-SITE BUA</b>	<b>NEW OFF-SITE BUA (R/W FRONTAGE)</b>	<b>NEW ON-SITE AND OFF-SITE BUA</b>
ON-SITE BUILDINGS = 14,686 SF	OFF-SITE BUILDINGS = NONE	BUILDINGS = 14,686 SF
ON-SITE STREETS = NONE	OFF-SITE STREETS (SURREY ST) = 499 SF	STREETS = 499 SF
ON-SITE PARKING (5,500 SF @ 100% CR) = 0 SF	OFF-SITE PARKING = NONE	PARKING (5,500 SF @ 100% CR) = 0 SF
ON-SITE SIDEWALK (1,215 SF @ 100% CR) = 0 SF	OFF-SITE SIDEWALK (BOTH STREETS) = 1,864 SF	SIDEWALK (1,215 SF @ 100% CR) = 1,864 SF
OTHER ON-SITE = 2,811 SF	OTHER OFF-SITE, DRIVEWAY (BOTH STREETS) = 626 SF	OTHER = 3,437 SF
<b>TOTAL = 17,497 SF</b>	<b>TOTAL = 2,989 SF</b>	<b>TOTAL = 21,701 SF</b>
<b>PROPOSED ON-SITE BUA (NEW+REMAIN)</b>	<b>PROPOSED OFF-SITE BUA (NEW+REMAIN) (R/W FRONTAGE)</b>	<b>PROPOSED ON-SITE AND OFF-SITE BUA (NEW+REMAIN)</b>
ON-SITE BUILDINGS = 16,176 SF	OFF-SITE BUILDINGS = NONE	BUILDINGS = 16,176 SF
ON-SITE STREETS = NONE	OFF-SITE STREETS (SURREY ST) = 499 SF	STREETS = 499 SF
ON-SITE PARKING (5,500 SF @ 100% CR) = 0 SF	OFF-SITE PARKING = NONE	PARKING (5,500 SF @ 100% CR) = 0 SF
ON-SITE SIDEWALK (1,215 SF @ 100% CR) = 0 SF	OFF-SITE SIDEWALK (BOTH STREETS) = 1,864 SF	SIDEWALK (1,215 SF @ 100% CR) = 1,864 SF
OTHER ON-SITE = 2,811 SF	OTHER OFF-SITE, DRIVEWAY (BOTH STREETS) = 626 SF	OTHER = 3,437 SF
<b>TOTAL = 18,987 SF</b>	<b>TOTAL = 2,989 SF</b>	<b>TOTAL = 21,976 SF</b>
<b>ON-SITE BUA COMPARISON</b>	<b>OFF-SITE BUA COMPARISON</b>	<b>OVERALL ON-SITE AND OFF-SITE BUA COMPARISON</b>
TOTAL EXISTING ON-SITE BUA = 23,850 SF	TOTAL EXISTING OFF-SITE BUA = 920 SF	TOTAL EXISTING BUA = 24,770 SF
TOTAL PROPOSED ON-SITE BUA = 18,987 SF	TOTAL PROPOSED OFF-SITE BUA = 2,989 SF	TOTAL PROPOSED BUA = 21,976 SF

PROPERTY CONDITIONS	
ON-SITE DRAINAGE AREA	= 33,840 SF
OFF-SITE DRAINAGE AREA	= NONE
<b>TOTAL DRAINAGE AREA</b>	<b>= 33,840 SF</b>
<b>EXISTING ON-SITE DENSITY</b>	
23,850 SF	(100) = 70.48%
33,840 SF	
<b>PROPOSED ON-SITE DENSITY</b>	
18,987 SF	(100) = 56.11%
33,840 SF	
<b>BUA NOTE:</b>	
THIS ENTIRE PROJECT PROVIDES A NET BUILT-UPON AREA REDUCTION FOR THE PROPERTY BOUNDARY AS WELL AS THE PROJECT BOUNDARY WHICH INCLUDES OFFSITE WORK IN THE SURREY STREET AND FRONT STREET R/W.	

ISSUED FOR AGENCY  
REVIEW ONLY

---

NOT RELEASED FOR  
CONSTRUCTION

---

**BEFORE YOU DIG, CALL**

**North Carolina 811**  
www.nc811.org

**WILMINGTON**  
 Approved Construction Plan

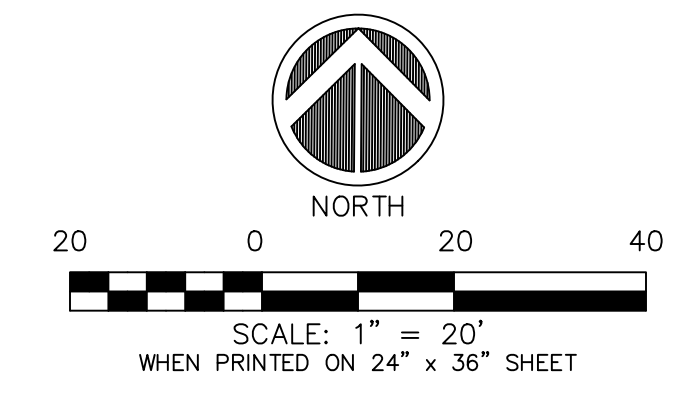
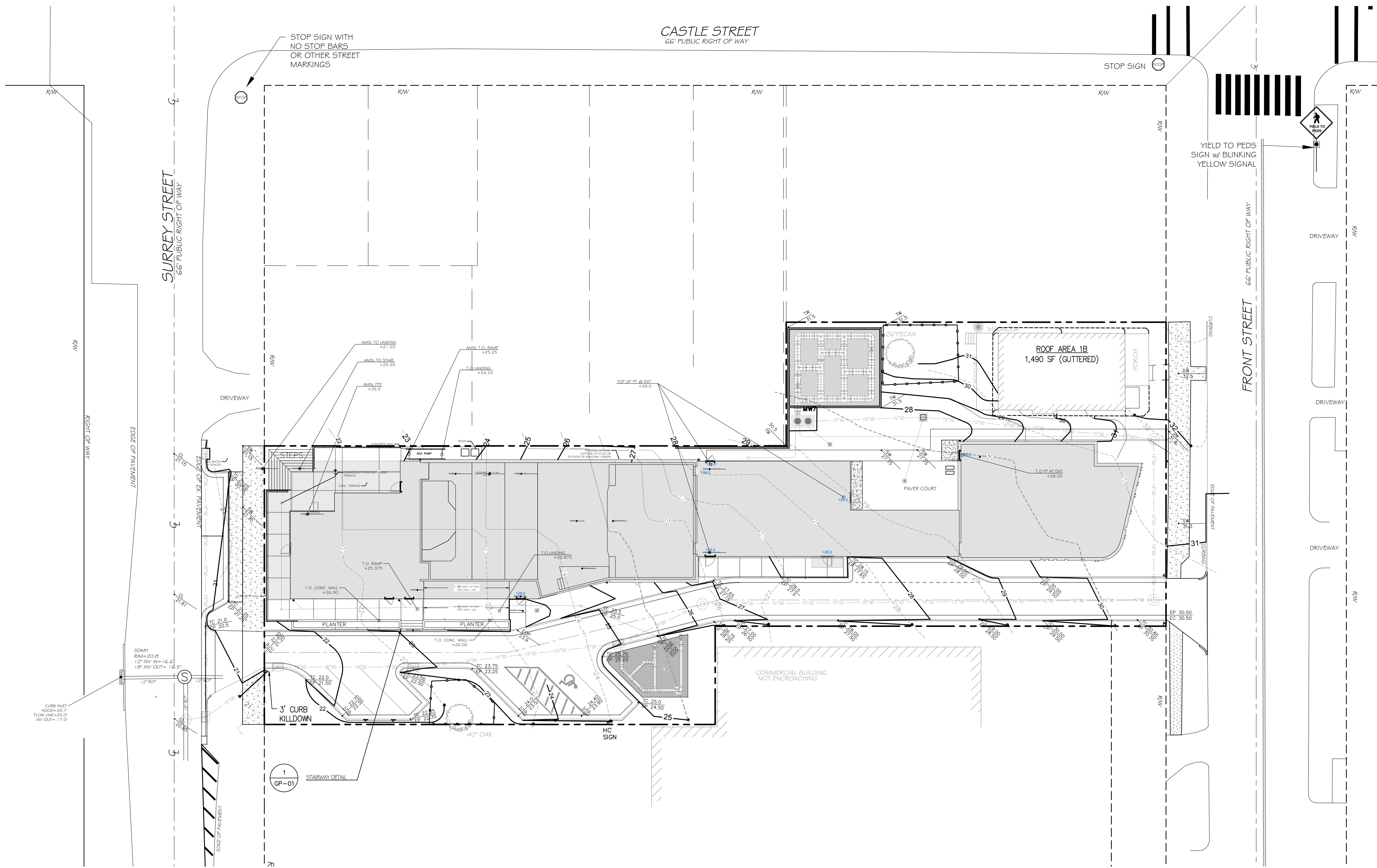
Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_  
 Traffic \_\_\_\_\_  
 Fire \_\_\_\_\_

**WILMINGTON**  
 Public Services • Engineering Division  
 APPROVED STORMWATER MANAGEMENT PLAN

Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
 Signed: \_\_\_\_\_

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



**Coastal Land Design, PLLC**  
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**HOURGLASS STUDIOS  
 613 SURREY ST, WILMINGTON, NC**

**GRADING PLAN**

REV	DATE	DESCRIPTION	INIT
D	8/6/18	ADJUSTED SIDEWALK WIDTH TAPER ADJACENT TO COMMERCIAL DRIVEWAY	JRC
C	6/15/18	MINOR SITE PLAN MODIFICATION WITH UPDATE PER CITY SW COMMENTS	JRC
B	2/19/18	RELEASE PER CITY OF WILMINGTON TRC SECOND REVIEW	JFB
A	1/29/18	INITIAL RELEASE FOR CITY OF WILMINGTON STORMWATER REVIEW	JRC

**OWNER:**  
 HOURGLASS STUDIOS, LLC  
 521 3RD ST S  
 WILMINGTON, NC 28401

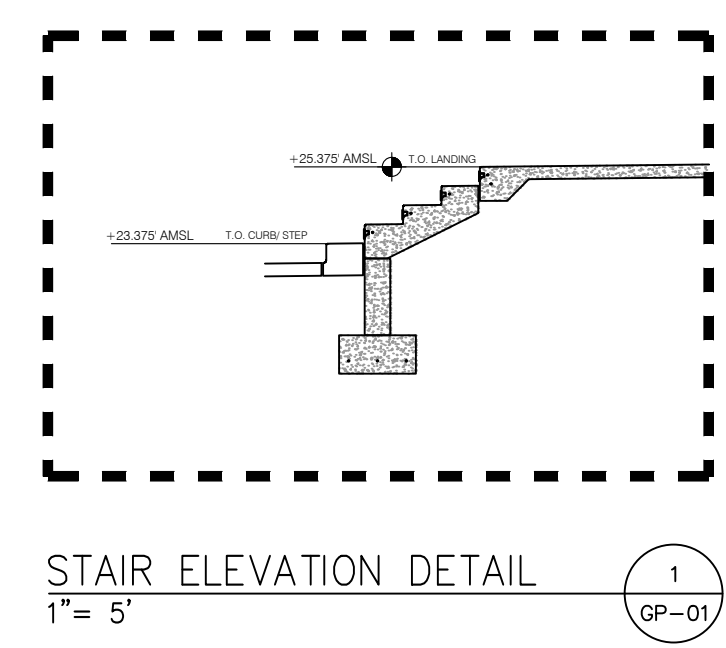
ISSUED FOR AGENCY REVIEW ONLY

NOT RELEASED FOR CONSTRUCTION

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 www.nc811.org

APPROVED: JFB PROJECT: 435-04  
 CHECKED: JRC SCALE: 1"=20'  
 DESIGNED: FB/JC RELEASE: TRC

SHEET  
**GP-01**



**WILMINGTON**  
 NORTH CAROLINA

Approved Construction Plan

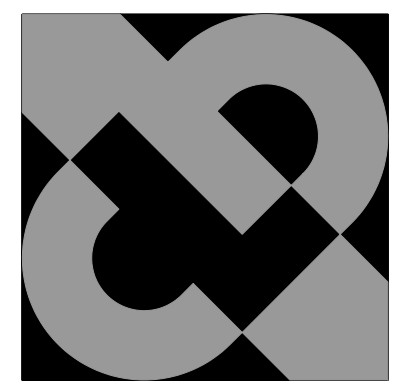
Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_  
 Traffic \_\_\_\_\_  
 Fire \_\_\_\_\_

**WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division  
 APPROVED STORMWATER MANAGEMENT PLAN

Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
 Signed: \_\_\_\_\_

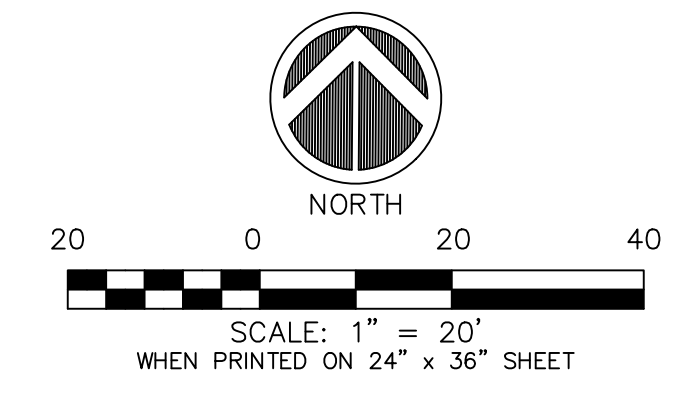
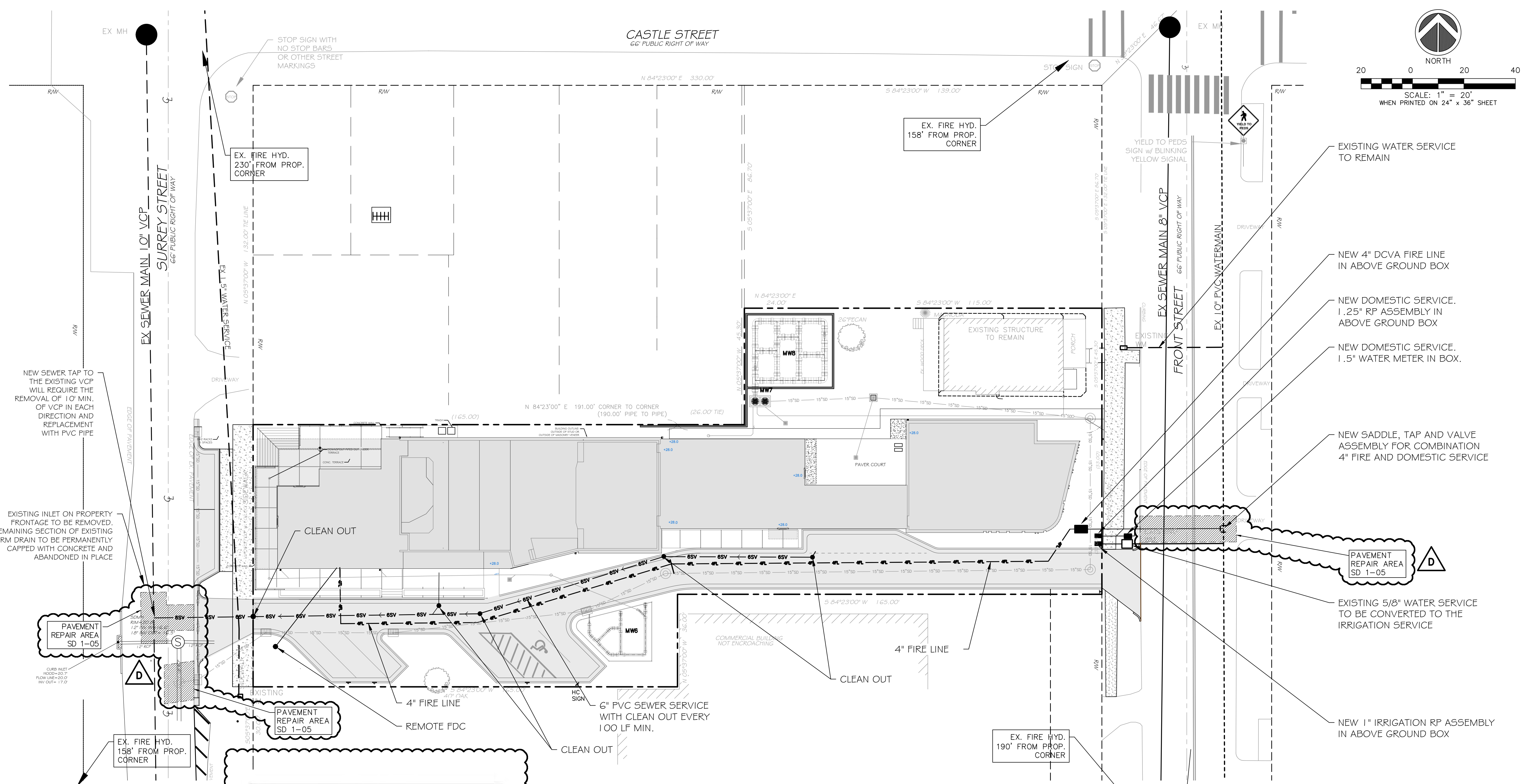
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**HOURLASS STUDIOS  
 613 SURREY ST, WILMINGTON, NC**

**UTILITIES PLAN**



**SITE DATA**

**PROJECT:** HOURLASS STUDIOS  
**ADDRESS:** 606,610,612 S. FRONT STREET  
 611,613 SURREY STREET  
**OWNER:** HOURLASS STUDIOS, LLC.  
 521 3RD ST S  
 WILMINGTON, NC 28401

**PID#:**  
 R05312-003-003-000, R05312-003-004-000,  
 R05312-003-016-000, R05312-003-015-000,  
 R05312-003-014-000, R05312-003-014-000

**D.B.** BK 5961, PG 2068 BK 6035, PG 1750

**ZONING:** UMX URBAN MIXED-USE  
**LAND USE:** COMMERCIAL/RESIDENTIAL  
**PARCEL SIZE:** 0.781 AC (34,016 SF)  
**FLOOD ZONE:** ZONE X-FIRM PANEL #37203117 K

**CAMA LAND USE:** URBAN

**BUILDING DATA**  
**PROPOSED BUILDING:** 11,982 SF  
**PROPOSED BLDG HT:** 42 FT  
**MAX BLDGHT:** 45 FT  
**NUMBER OF STORIES:** 1 STORY

**BUILDING COVERAGE**  
**TOTAL BLDG FOOTPRINT:** 12,982 SF  
**BLDG LOT COVERAGE:** 0.38%  
**ALLOWED COVERAGE:** NA

**BUILDING SETBACKS:**  
**FRONT:**  
 SEC. 18-204-UMX c(2)c.  
 In no case shall front setbacks adj. to the primary street(s) or an internal street exceed (10) feet.  
**SIDE:**  
 SEC. 18-204-UMX c(2)a.  
 Inside the 1945 corporate limits, no setbacks are req'd except where abutting a single-family res. district.  
**NORTH SIDE:** 5' REQUIRED

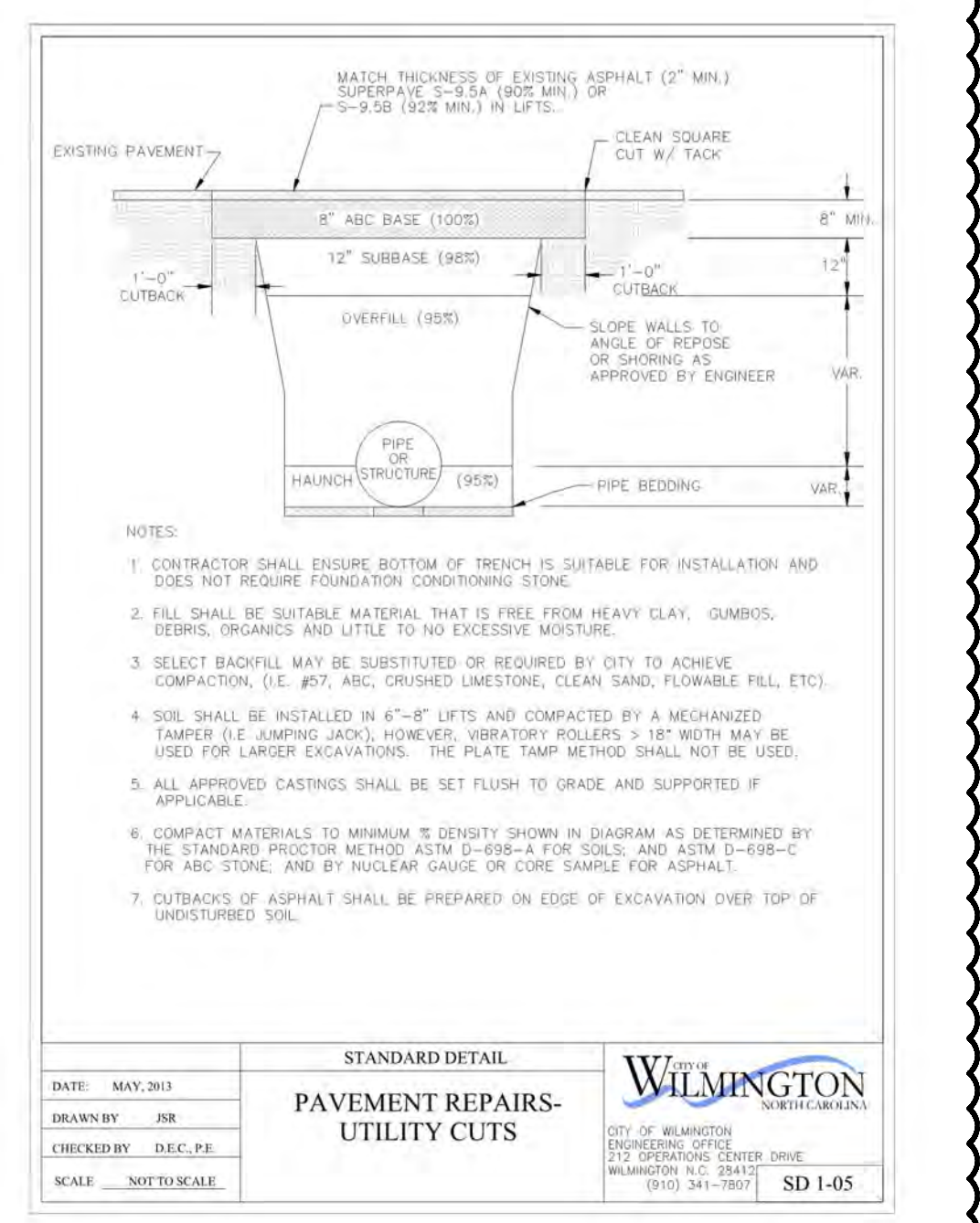
**PARKING:**  
 SEC. 18-204-UMX c(6)a.  
 There are no min. parking req. Parking shall not exceed the max.parking req. established for any use in ARTICLE 9.

**PARKING PROVIDE:** 7 SPACE TOTAL  
 (INCLUDES 1 ADA SPACE)

**WATER AND SEWER CAPACITY**  
 WATER: 970 GPD (CURRENT)  
 WATER: 1,750 GPD (PROPOSED)  
 SEWER: 970 GPD (CURRENT)  
 SEWER: 1,750 GPD (PROPOSED)

**BRICK STREET NOTE**  
 FRONT STREET IS A BRICK STREET WITH ASPHALT OVERLAY. UTILITY CONTRACTOR SHALL COORDINATE ANY REMOVAL AND REPLACEMENT OF THE BRICK PAVERS WITH THE CITY OF WILMINGTON. ASPHALT OVERLAY MAY BE REQUIRED TO MATCH EXISTING PAVEMENT SURFACE.

**UTILITIES NOTE**  
 WATER AND SEWER SERVICE LOCATIONS AND SIZES ARE SUBJECT TO CHANGE WITH PM&E DESIGN AND CFPUA REVIEW



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**WILMINGTON**  
 Approved Construction Plan  
 Name: \_\_\_\_\_ Date: \_\_\_\_\_  
 Planning: \_\_\_\_\_  
 Traffic: \_\_\_\_\_  
 Fire: \_\_\_\_\_

**WILMINGTON**  
 Public Services • Engineering Division  
 APPROVED STORMWATER MANAGEMENT PLAN  
 Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
 Signed: \_\_\_\_\_

REV	DATE	DESCRIPTION	JRC	JFB	JRC	INIT
C	7/19/18	ADDED SD 1-05 AND PAVEMENT REPAIR AREAS	JRC			
D	2/19/18	RELEASE FOR CITY OF WILMINGTON TRC SECOND REVIEW	JRC	JFB		
A	1/29/18	INITIAL RELEASE FOR CITY OF WILMINGTON STORMWATER REVIEW	JRC			

**OWNER:**  
 HOURLASS STUDIOS, LLC  
 521 3RD ST S  
 WILMINGTON, NC 28401

ISSUED FOR AGENCY REVIEW ONLY

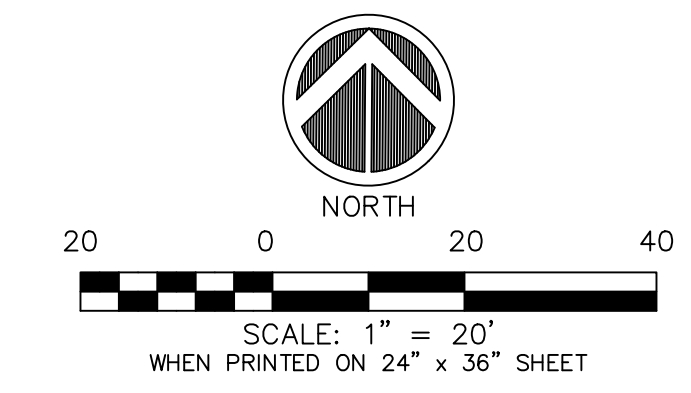
NOT RELEASED FOR CONSTRUCTION

**BEFORE YOU DIG, CALL**  
**North Carolina 811**  
 www.nc811.org

APPROVED: JFB	PROJECT: 435-04
CHECKED: JRC	SCALE: 1"=20'
DESIGNED: FB/JC	RELEASE: TRC

SHEET  
**U-1**

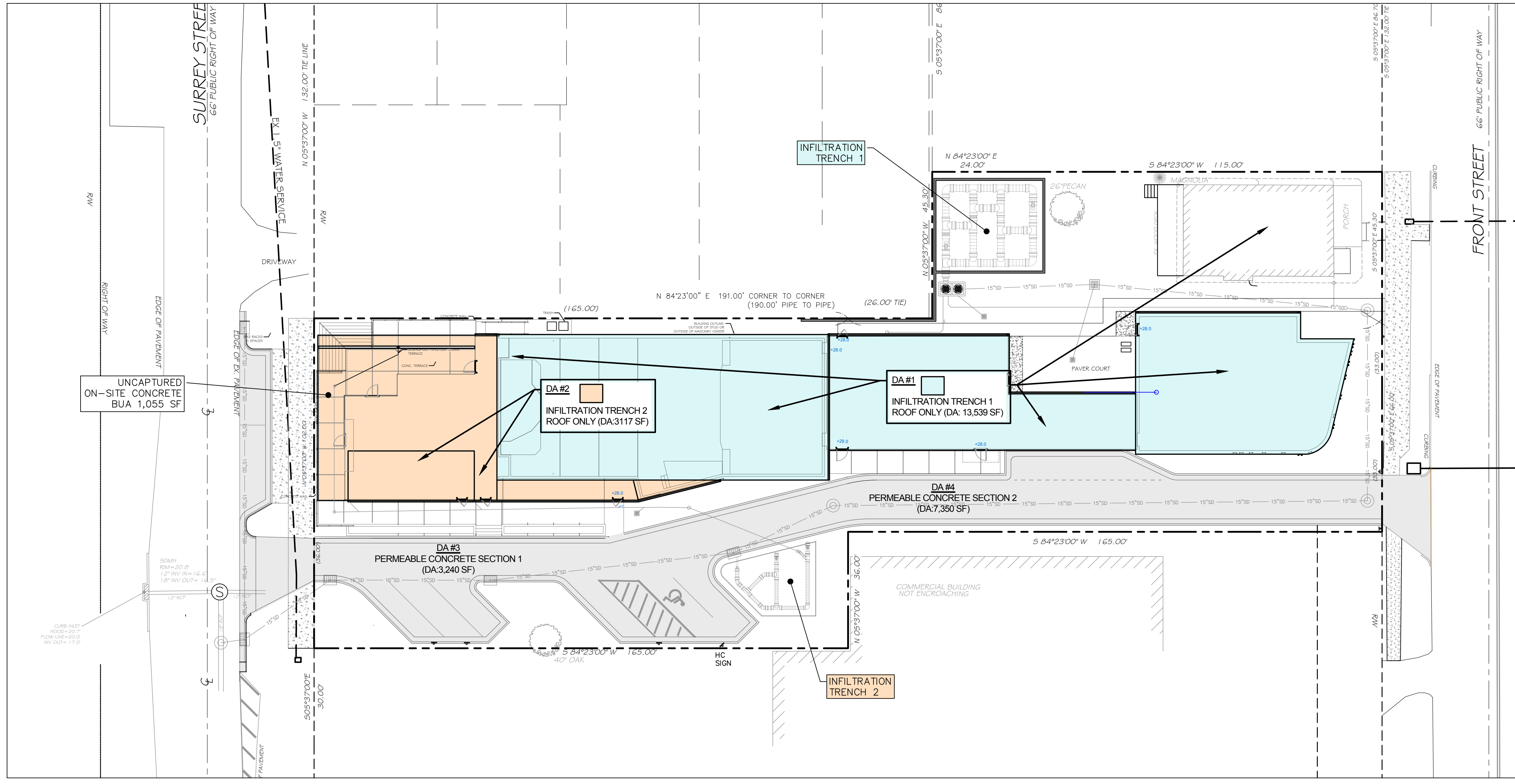




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**HOURGLASS STUDIOS  
 613 SURREY ST, WILMINGTON, NC**

**STORMWATER BMP DRAINAGE AREAS**



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**WILMINGTON**  
 NORTH CAROLINA

Approved Construction Plan

Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_  
 Traffic \_\_\_\_\_  
 Fire \_\_\_\_\_

**CITY OF WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division

APPROVED STORMWATER MANAGEMENT PLAN

Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
 Signed: \_\_\_\_\_

ISSUED FOR AGENCY  
 REVIEW ONLY

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 CONSTRUCTION

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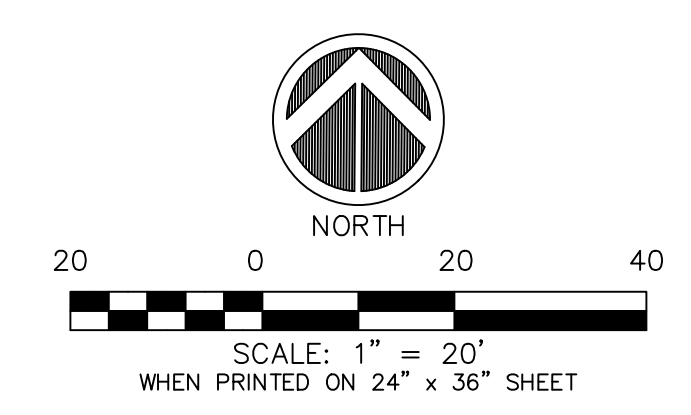
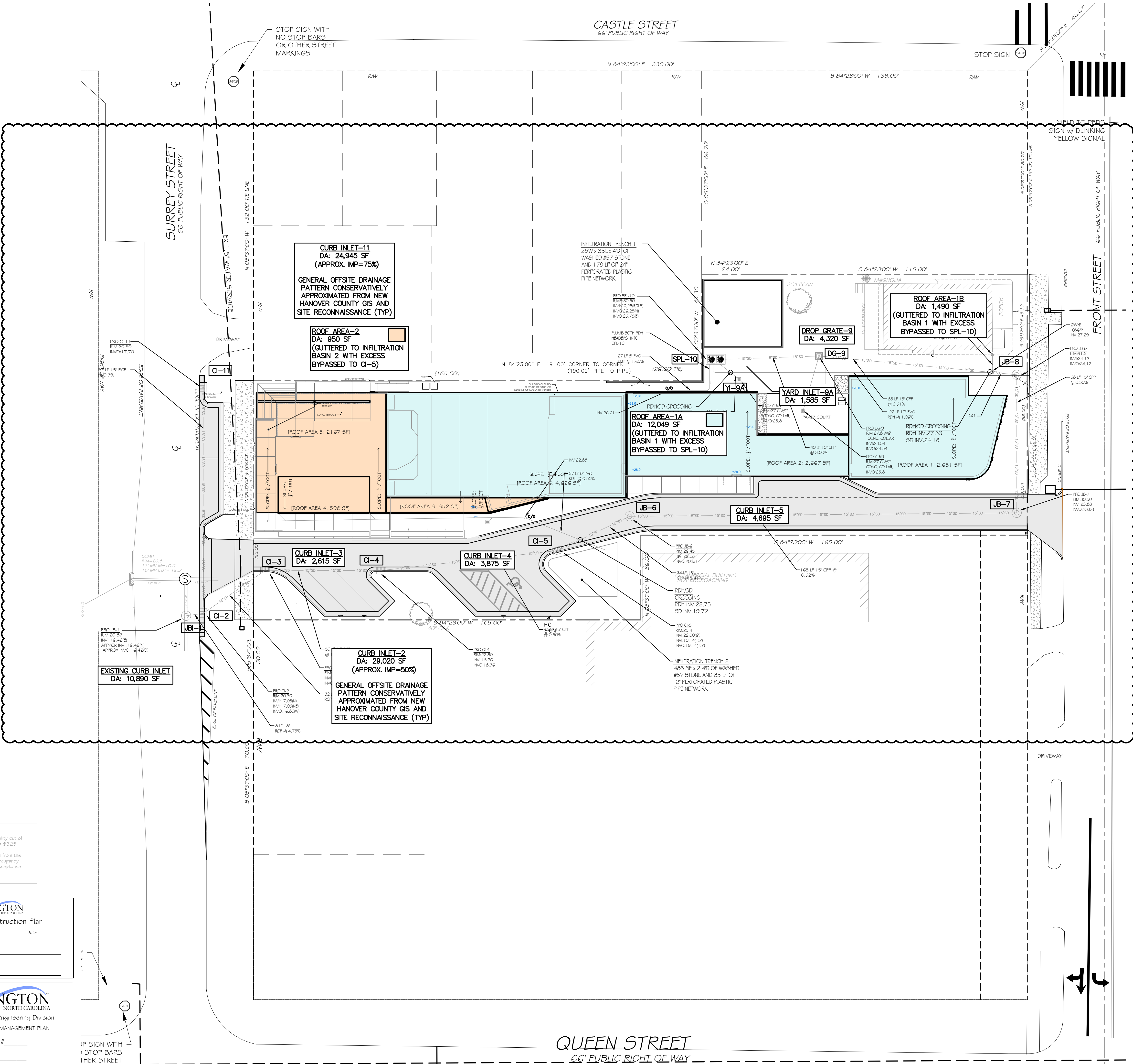
**North Carolina 811**  
 www.nc811.org

REV	DATE	DESCRIPTION	JRC	JFB	INIT
D	8/6/18	ADJUSTED SIDEWALK WIDTH TAPER ADJACENT TO COMMERCIAL DRIVEWAY	JRC		
C	6/15/18	UPDATED DRAINAGE AREAS	JRC		
B	2/19/18	RELEASE FOR CITY OF WILMINGTON JRC SECOND REVIEW	JRC	JFB	
A	1/29/18	INITIAL RELEASE FOR CITY OF WILMINGTON STORMWATER REVIEW	JRC		

**OWNER:**  
 HOURGLASS STUDIOS, LLC  
 521 3RD ST S  
 WILMINGTON, NC 28401

APPROVED: JFB	PROJECT: 435-04
CHECKED: JRC	SCALE: 1"=20'
DESIGNED: FB/JC	RELEASE: TRC

SHEET  
**SW-01**



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**HOURGLASS STUDIOS  
 613 SURREY ST, WILMINGTON, NC  
 STORMWATER SYSTEM DRAINAGE AREAS**

REV	DATE	DESCRIPTION	JRC	JFB	INIT
C	6/15/18	UPDATED DRAINAGE AREAS	JRC		
B	2/19/18	RELEASE FOR CITY OF WILMINGTON JRC SECOND REVIEW	JRC	JFB	
A	1/29/18	INITIAL RELEASE FOR CITY OF WILMINGTON STORMWATER REVIEW	JRC		

**OWNER:**  
 HOURGLASS STUDIOS, LLC  
 521 3RD ST S  
 WILMINGTON, NC 28401

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**WILMINGTON**  
 Approved Construction Plan  
 Name: \_\_\_\_\_ Date: \_\_\_\_\_

Planning: \_\_\_\_\_  
 Traffic: \_\_\_\_\_  
 Fire: \_\_\_\_\_

**CITY OF WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division  
 APPROVED STORMWATER MANAGEMENT PLAN  
 Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
 Signed: \_\_\_\_\_

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**North Carolina 811**  
 www.nc811.org

APPROVED: JRC	PROJECT: 435-04
CHECKED: JRC	SCALE: 1"=20"
DESIGNED: FB/JC	RELEASE: TRC

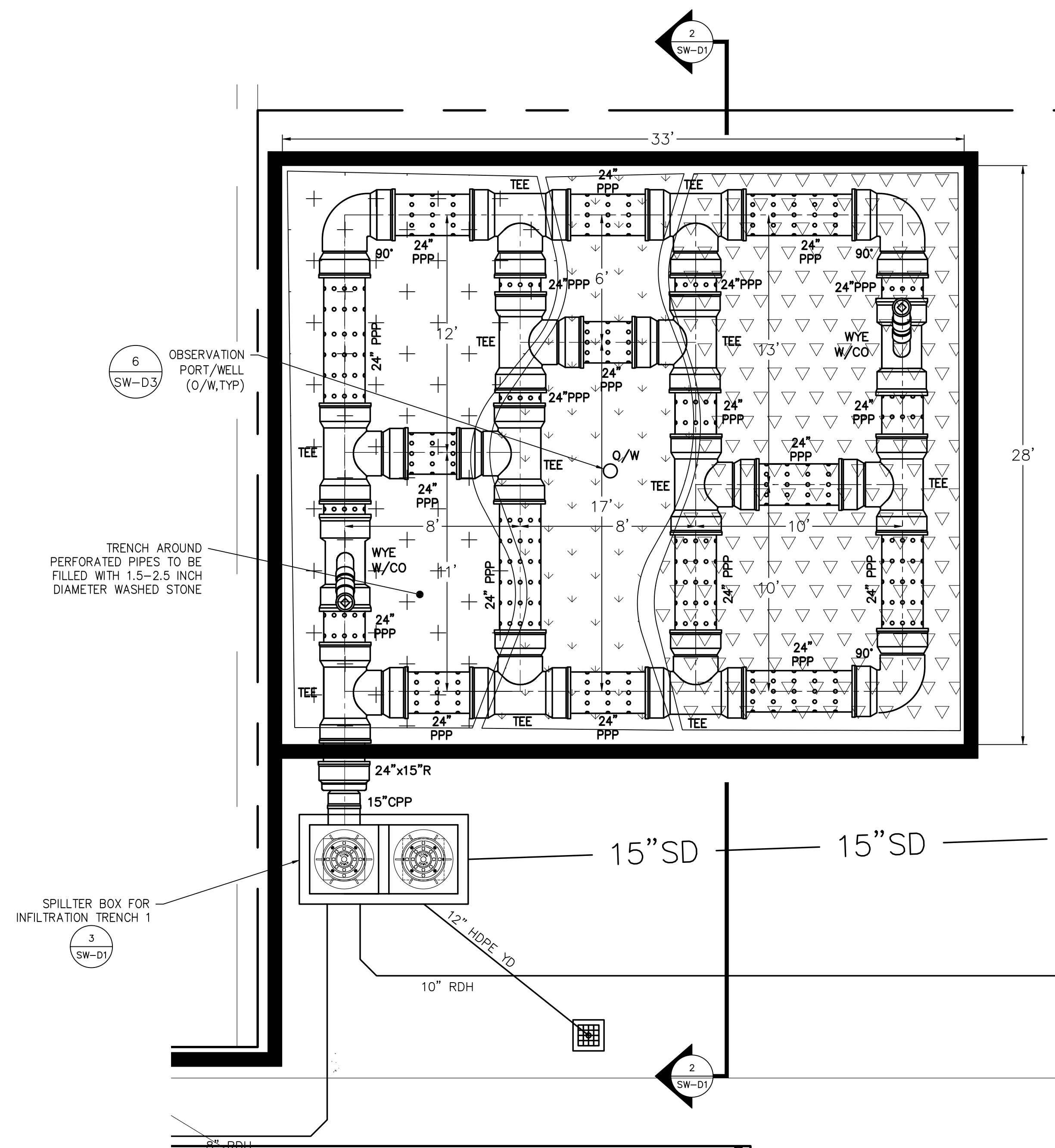
SHEET  
**SW-02**



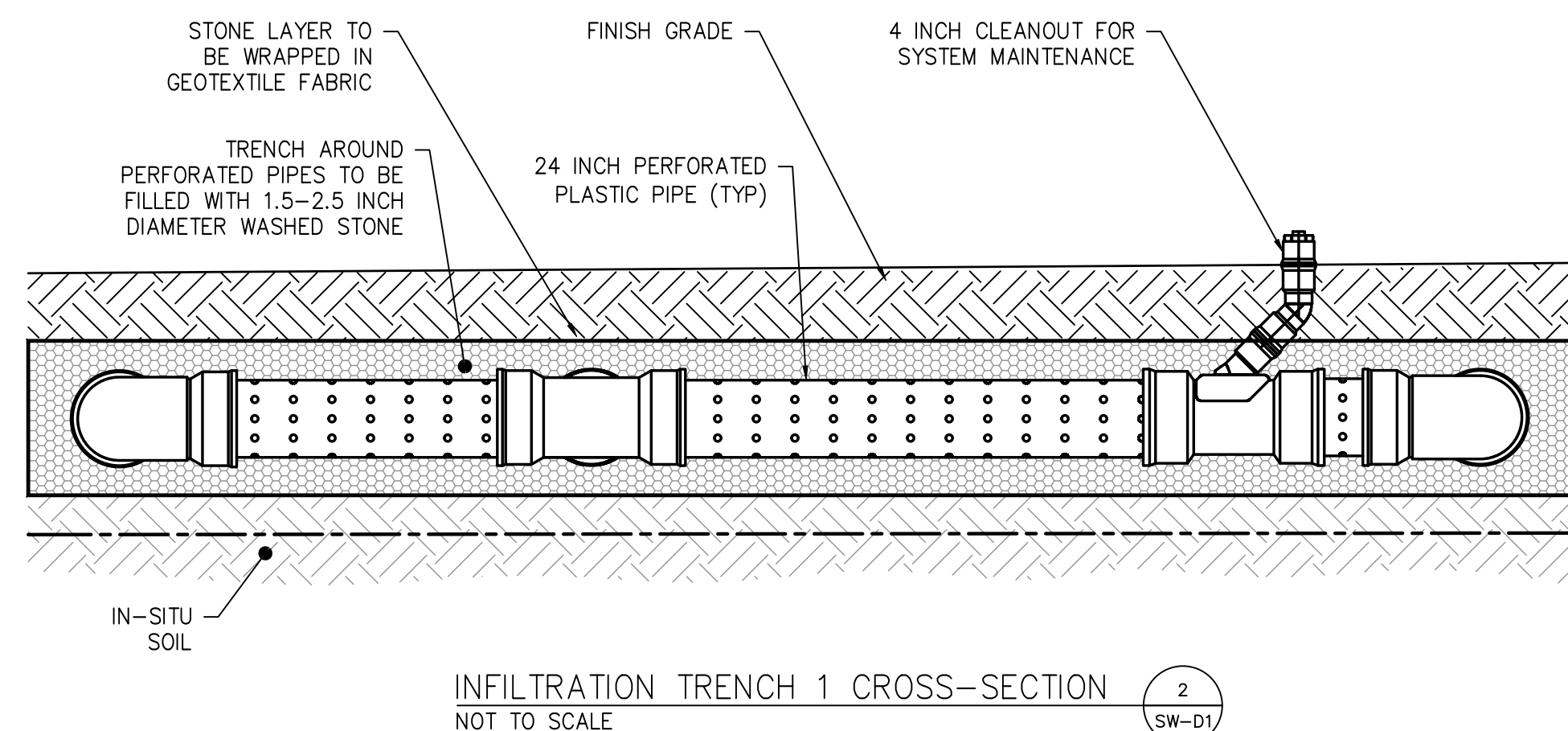
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**HOURLASS STUDIOS  
 613 SURREY ST, WILMINGTON, NC**

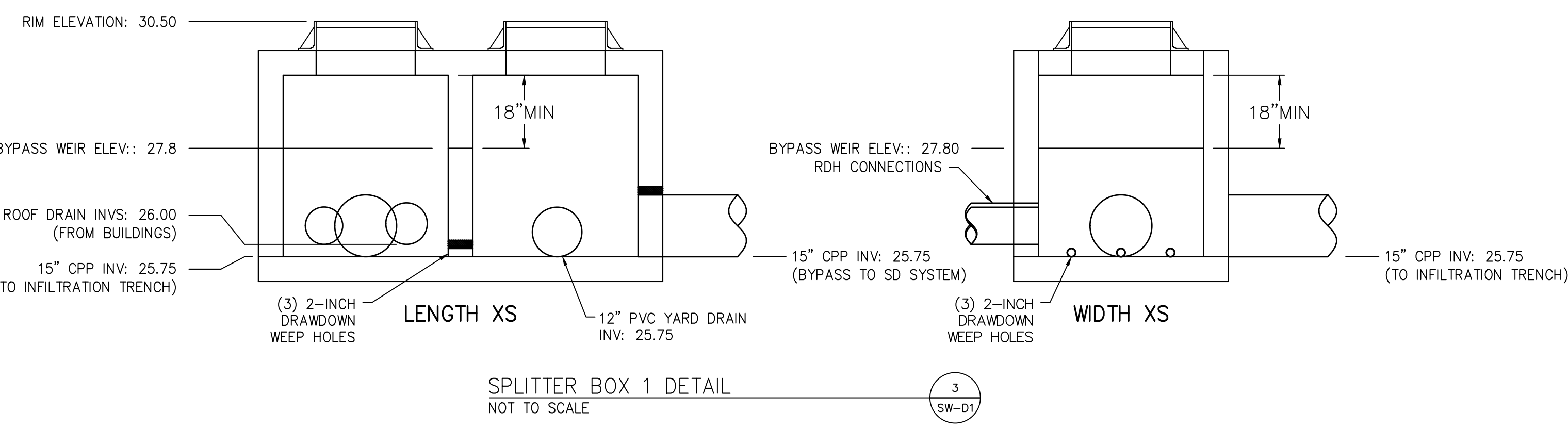
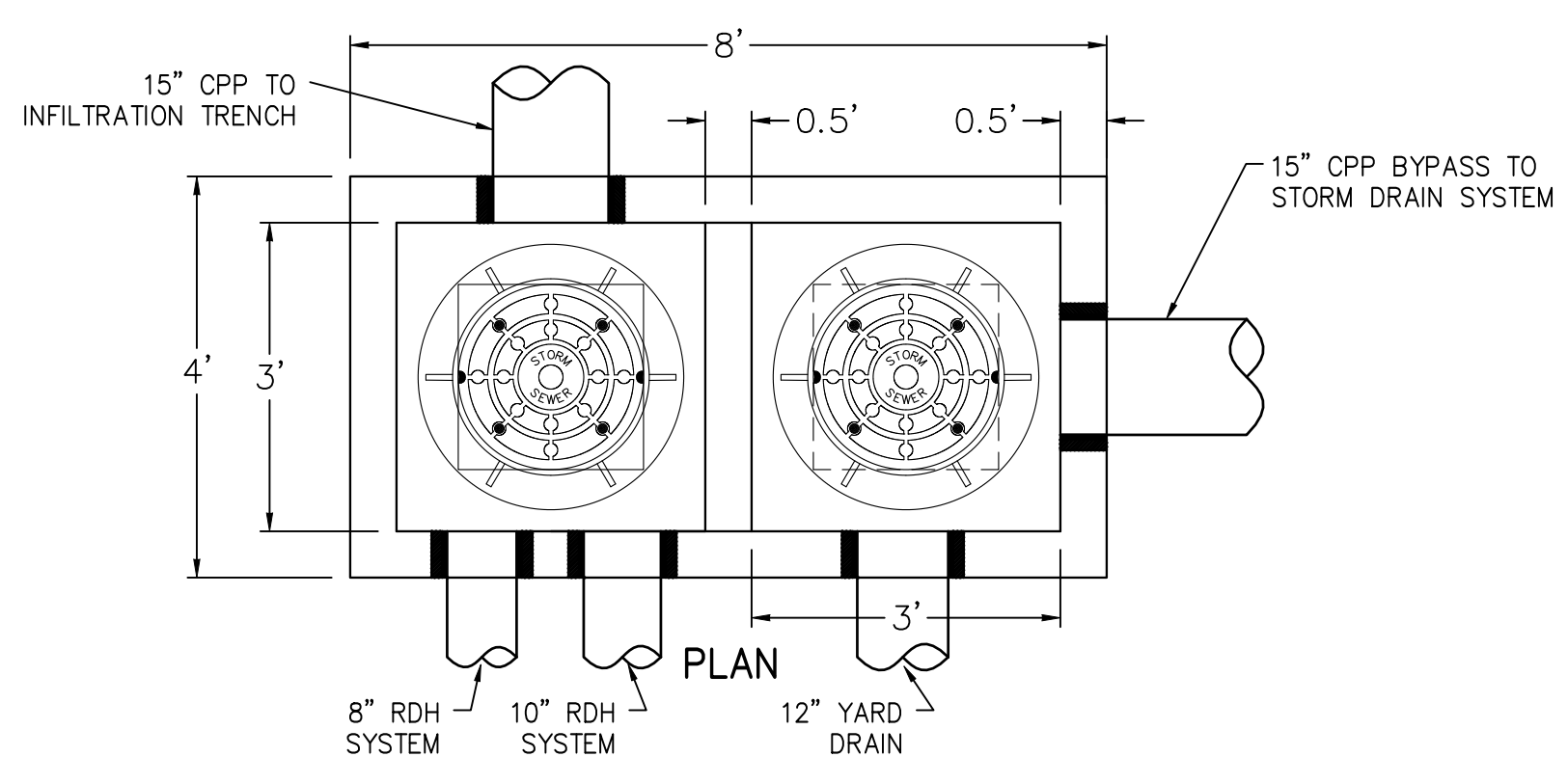
**INFILTRATION TRENCH 1 - DETAILS**



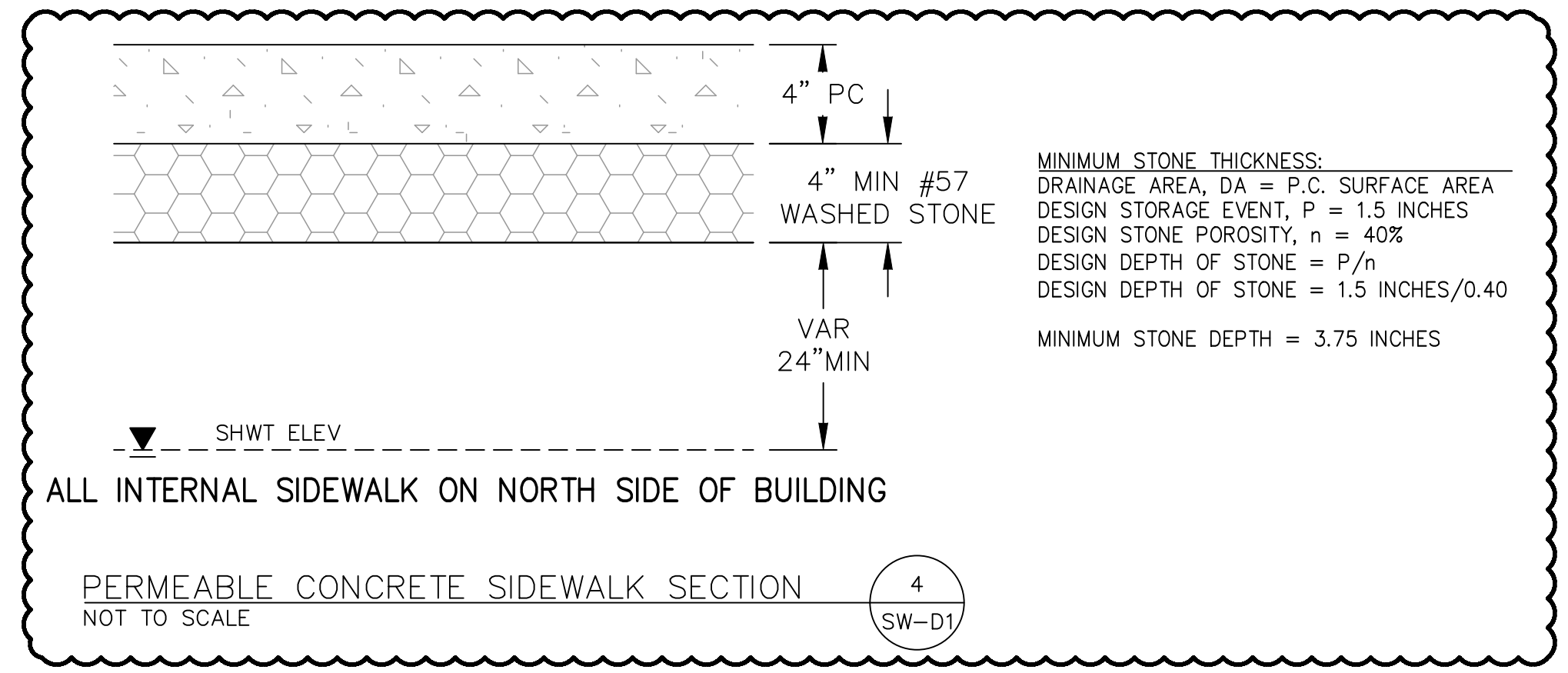
INFILTRATION TRENCH 1 PLAN  
 1" = 4'  
 1 SW-D1



INFILTRATION TRENCH 1 CROSS-SECTION  
 NOT TO SCALE  
 2 SW-D1



SPPLITER BOX 1 DETAIL  
 NOT TO SCALE  
 3 SW-D1



PERMEABLE CONCRETE SIDEWALK SECTION  
 NOT TO SCALE  
 4 SW-D1

REV	DATE	DESCRIPTION
D	7/19/18	ADDED P.C. SIDEWALK DETAIL
C	6/7/18	RELEASED TRENCH SHAPE AND ADDED BOX WEIR HEIGHT
B	2/19/18	RELEASE FOR CITY OF WILMINGTON TRC SECOND REVIEW
A	1/29/18	INITIAL RELEASE FOR CITY OF WILMINGTON STORMWATER REVIEW
		INIT

**OWNER:**  
 HOURLASS STUDIOS, LLC  
 521 3RD ST S  
 WILMINGTON, NC 28401

**WILMINGTON**  
 Approved Construction Plan  
 Name: \_\_\_\_\_ Date: \_\_\_\_\_  
 Planning: \_\_\_\_\_  
 Traffic: \_\_\_\_\_  
 Fee: \_\_\_\_\_

**CITY OF WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division  
 APPROVED STORMWATER MANAGEMENT PLAN  
 Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
 Signed: \_\_\_\_\_

For each open utility out of City streets, a §325 permit shall be required from the City prior to occupancy and/or project acceptance.

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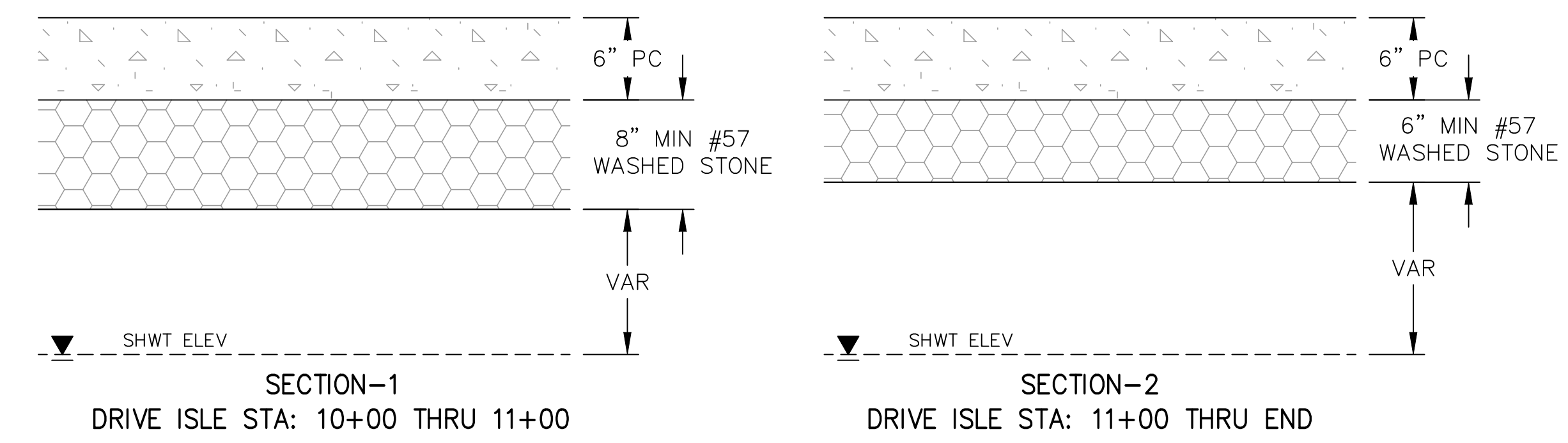
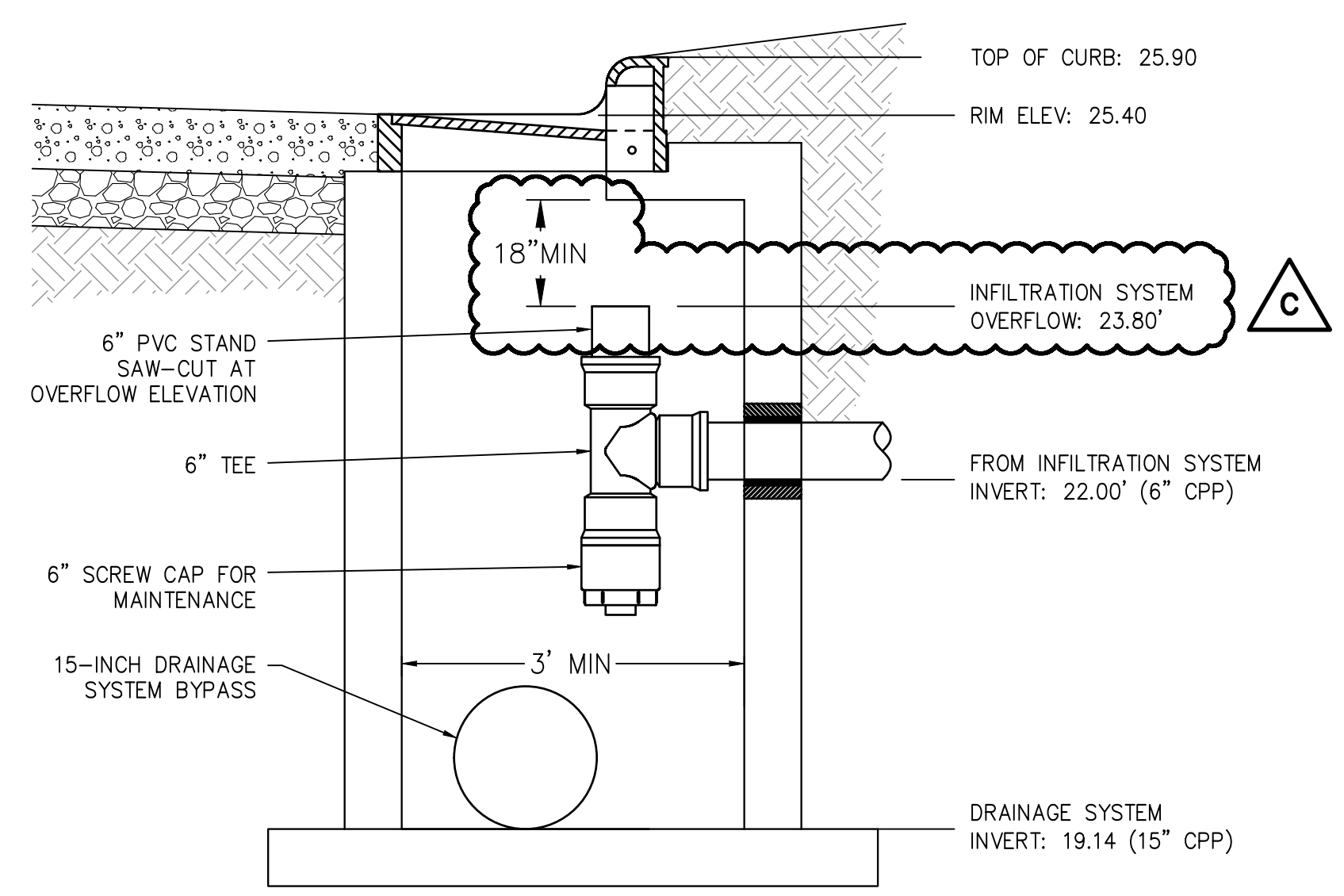
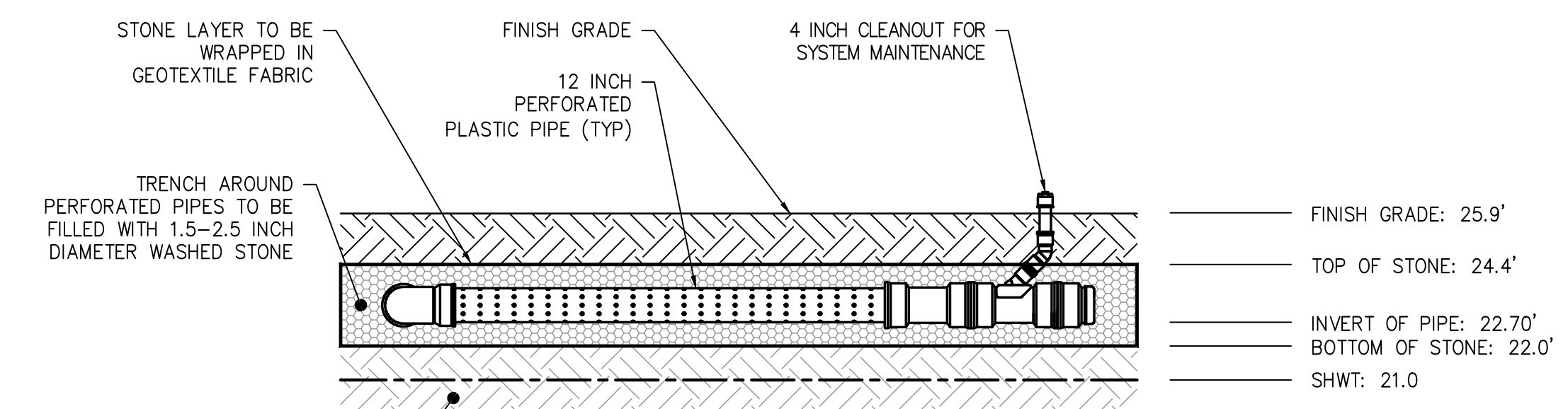
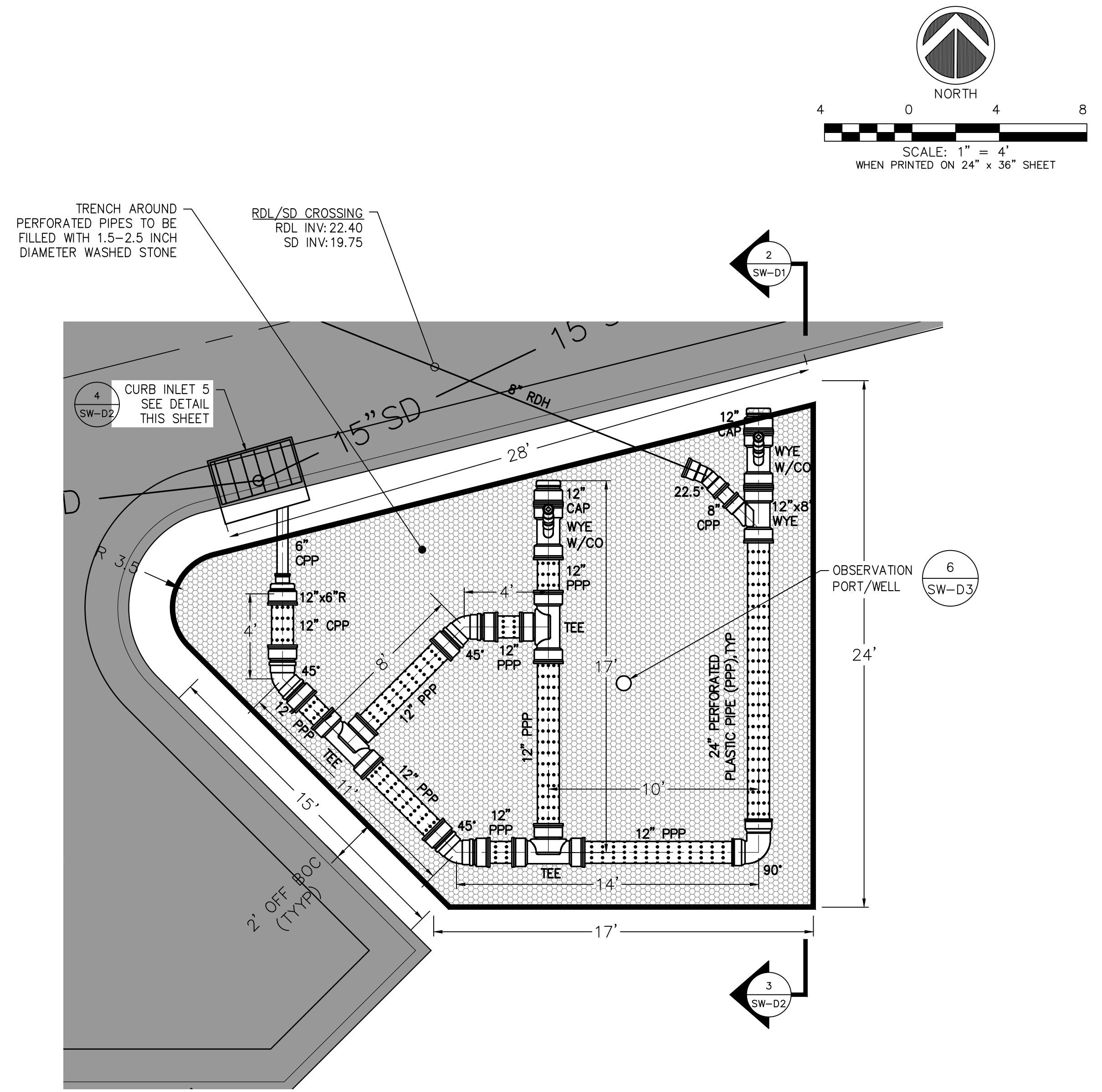
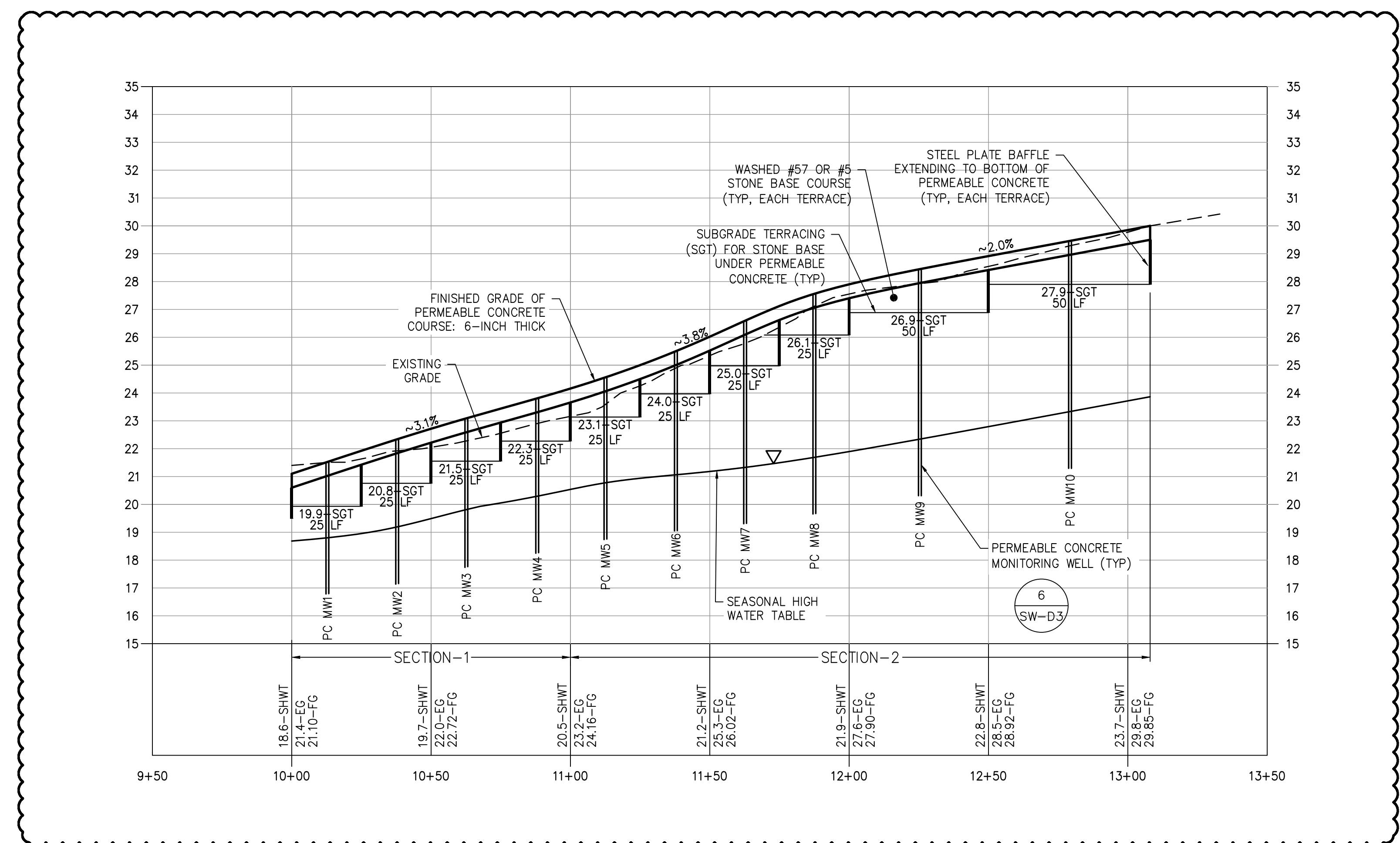
APPROVED:	JFB	PROJECT:	435-04
CHECKED:	JRC	SCALE:	AS NOTED
DESIGNED:	FBJ/CJ	RELEASE:	TRC

SHEET  
**SW-D1**



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**HOURLASS STUDIOS**  
**613 SURREY ST, WILMINGTON, NC**  
**STORMWATER TRENCH 2 - DETAILS**  
**PERVIOUS CONCRETE DETAILS**



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**WILMINGTON**  
 Approved Construction Plan  
 Name: \_\_\_\_\_ Date: \_\_\_\_\_  
 Planning: \_\_\_\_\_  
 Traffic: \_\_\_\_\_  
 Fire: \_\_\_\_\_  
**WILMINGTON**  
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 Public Services • Engineering Division  
 APPROVED STORMWATER MANAGEMENT PLAN  
 Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
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REV	DATE	DESCRIPTION
C	6/7/18	ADDED MANHOLE WELLS AND ADDED BOX W/ER HEIGHT
B	2/19/18	RELEASE FOR CITY OF WILMINGTON TRC SECOND REVIEW
A	1/29/18	INITIAL RELEASE FOR CITY OF WILMINGTON STORMWATER REVIEW
JRC		INIT

**OWNER:**  
 HOURLASS STUDIOS, LLC  
 521 3RD ST S  
 WILMINGTON, NC 28401

APPROVED: JRC	PROJECT: 435-04
CHECKED: JRC	SCALE: AS NOTED
DESIGNED: FB/JC	RELEASE: TRC

SHEET  
**SW-D2**



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**HOURLASS STUDIOS**  
**613 SURREY ST, WILMINGTON, NC**

**STANDARD STORMWATER  
 CONSTRUCTION DETAILS**

REV	DATE	DESCRIPTION	JRC	JFB	JRC	INIT
C	6/15/18	REMOVED GRAVEL PARKING AREA	JRC			
B	2/19/18	RELEASE FOR CITY OF WILMINGTON TRC SECOND REVIEW	JRC	JFB		
A	1/25/18	INITIAL RELEASE FOR CITY OF WILMINGTON STORMWATER REVIEW	JRC			

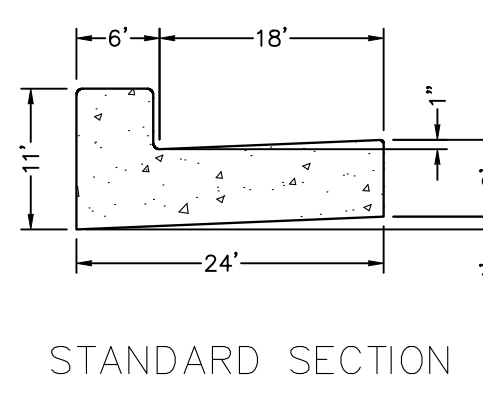
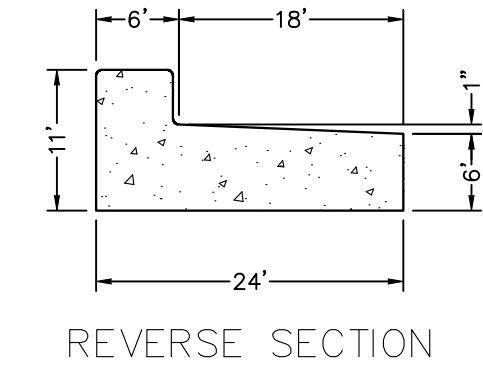
**OWNER:**  
 HOURLASS STUDIOS, LLC  
 521 3RD ST S  
 WILMINGTON, NC 28401

APPROVED: JFB	PROJECT: 435-04
CHECKED: JRC	SCALE: NTS
DESIGNED: FB/JC	RELEASE: TRC

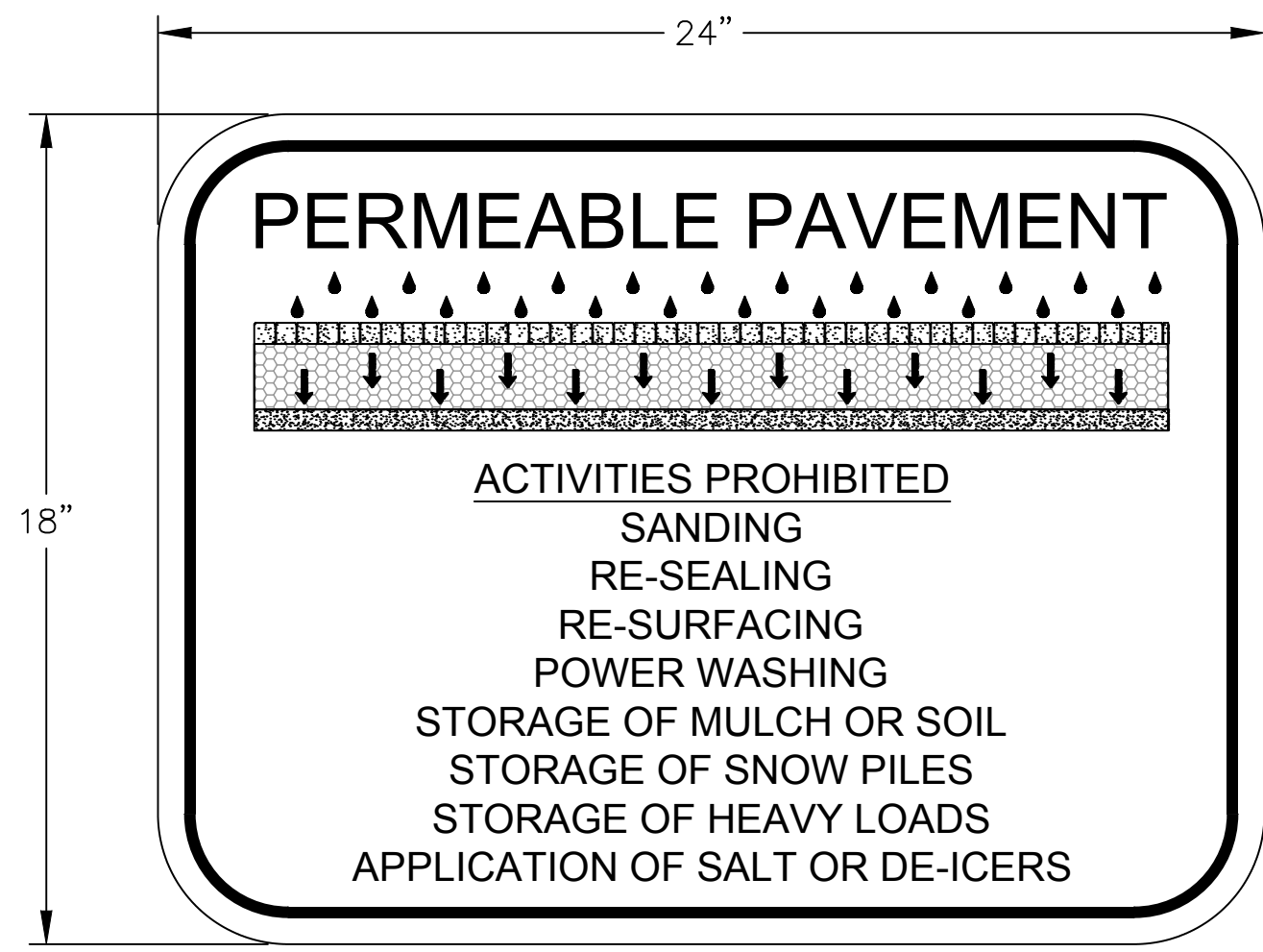
SHEET  
**SW-D3**

ISSUED FOR AGENCY  
 REVIEW ONLY

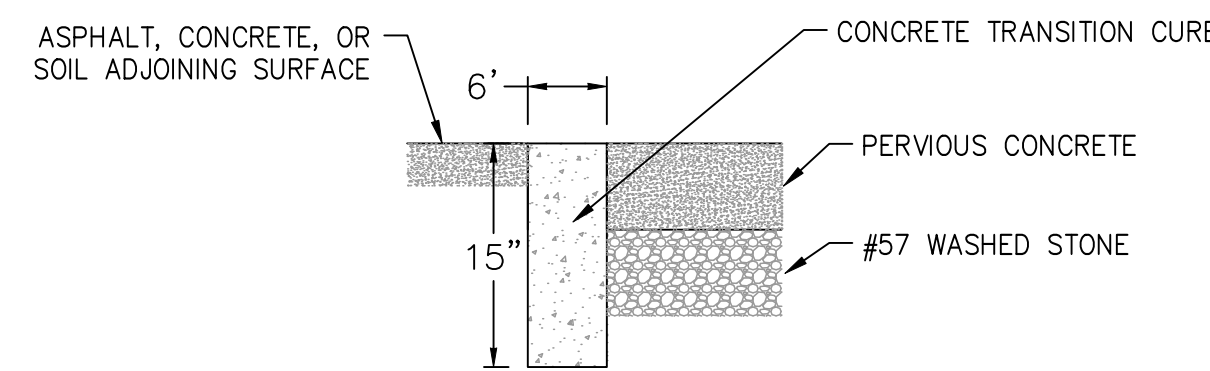
NOT RELEASED FOR  
 CONSTRUCTION



STANDARD 24-INCH CURB AND GUTTER DETAIL  
 NOT TO SCALE

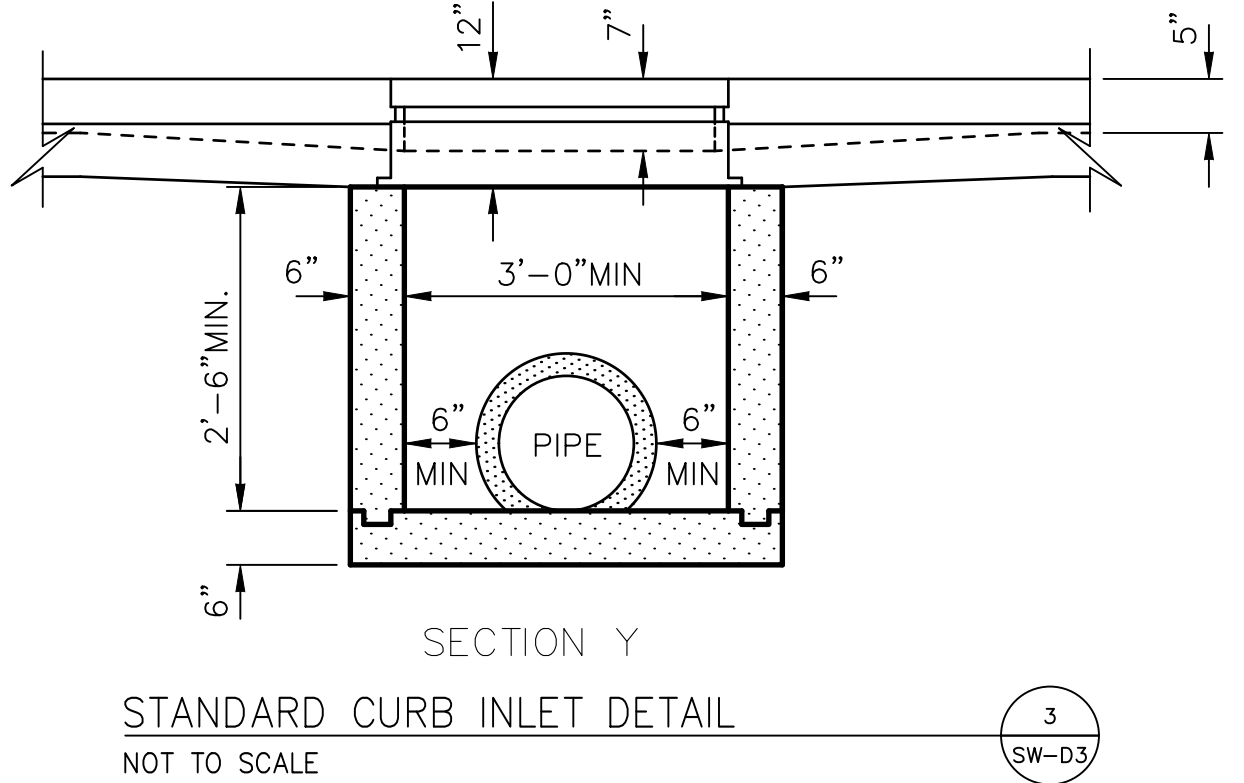
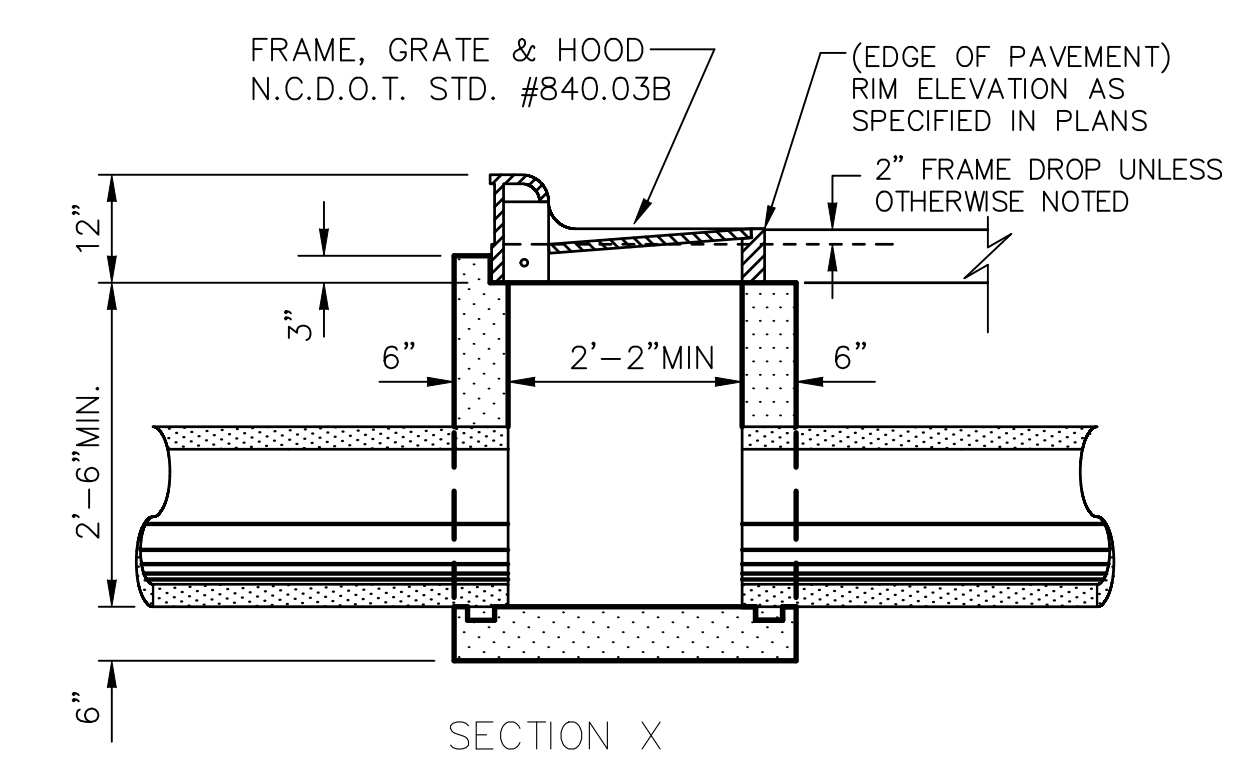


PERMEABLE PAVEMENT SIGN DETAIL  
 NOT TO SCALE

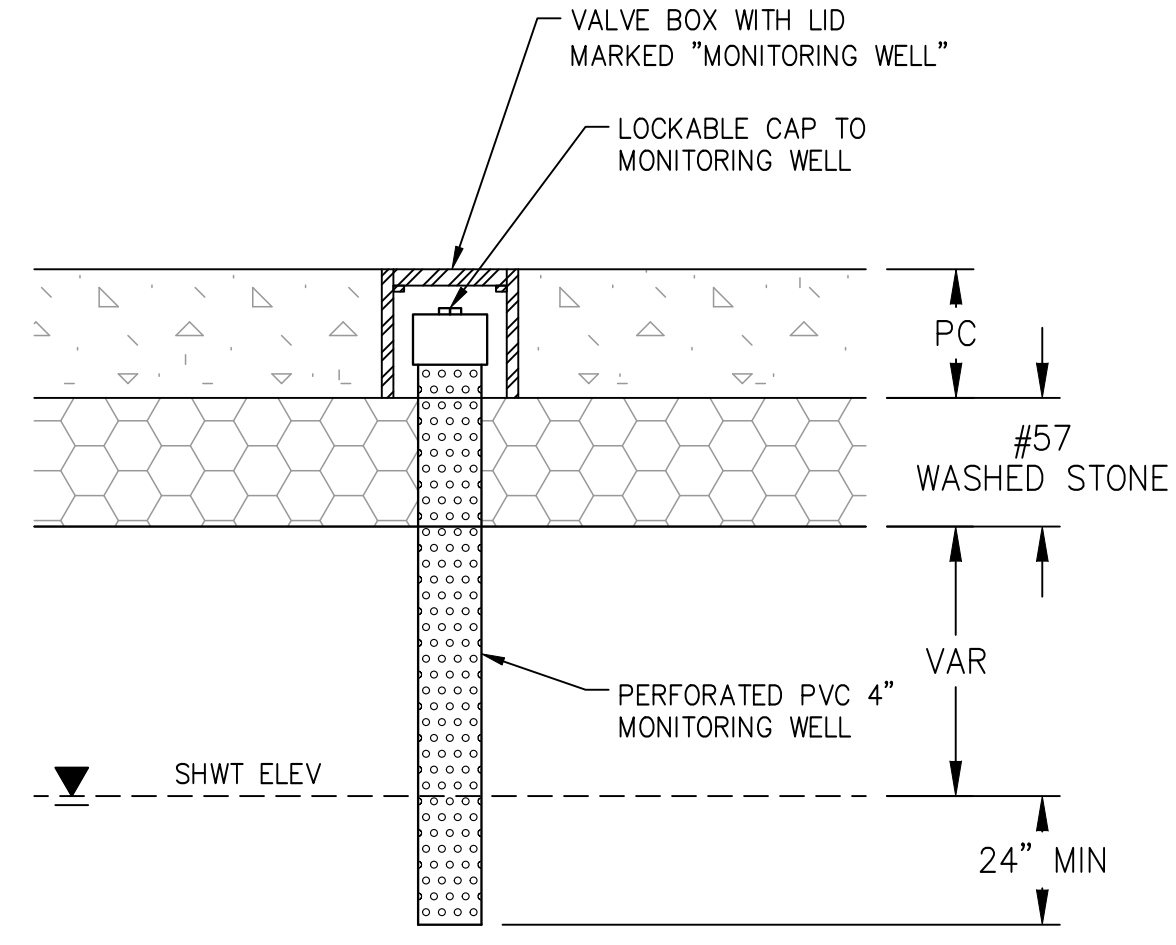


- NOTES:
- EXPANSION JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS.
  - 50' MAX EXPANSION JOINT SPACING, 10' MAX CONTRACTION JOINT SPACING
  - CONCRETE TO BE 3,000 PSI MINIMUM

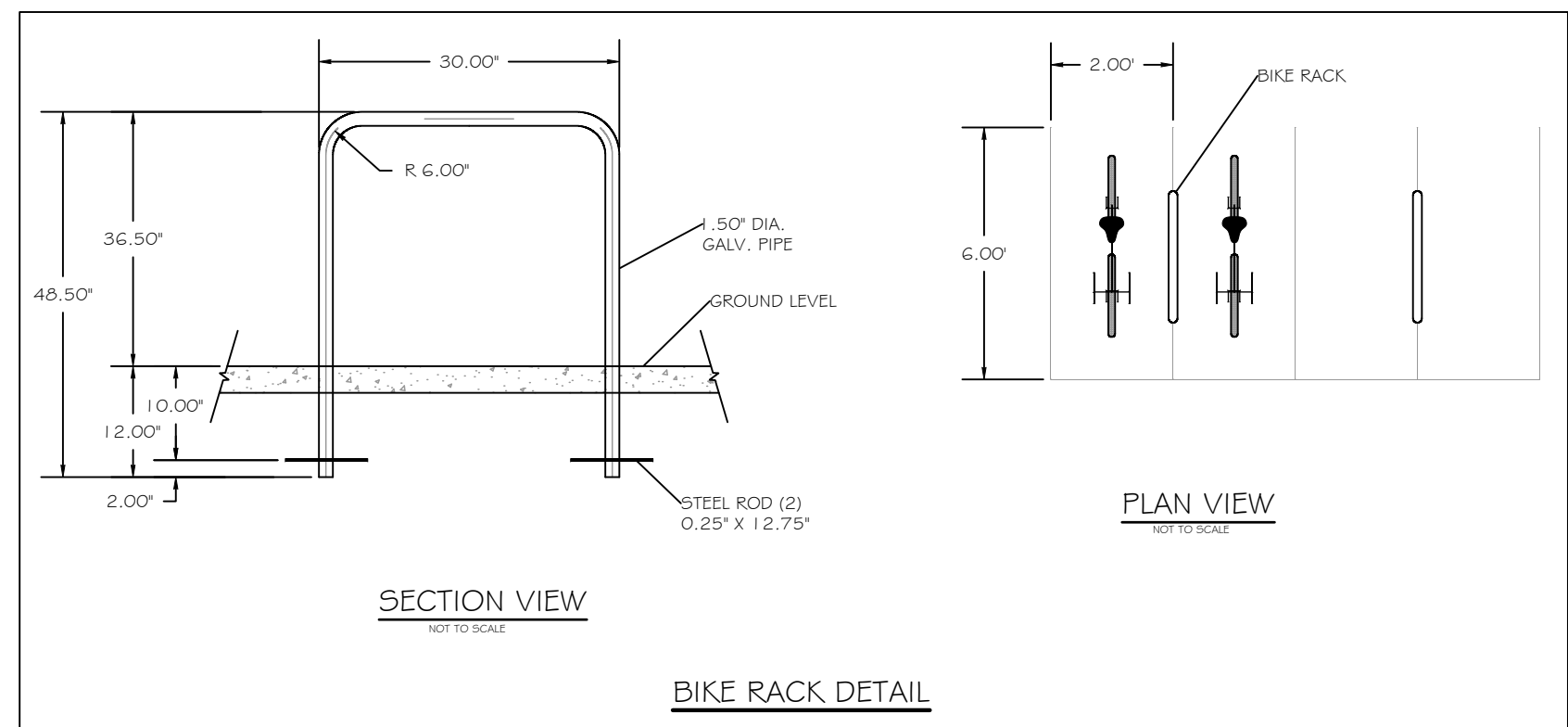
ASPHALT TO PERVIOUS CONCRETE  
 TRANSITION CURB DETAIL  
 NOT TO SCALE



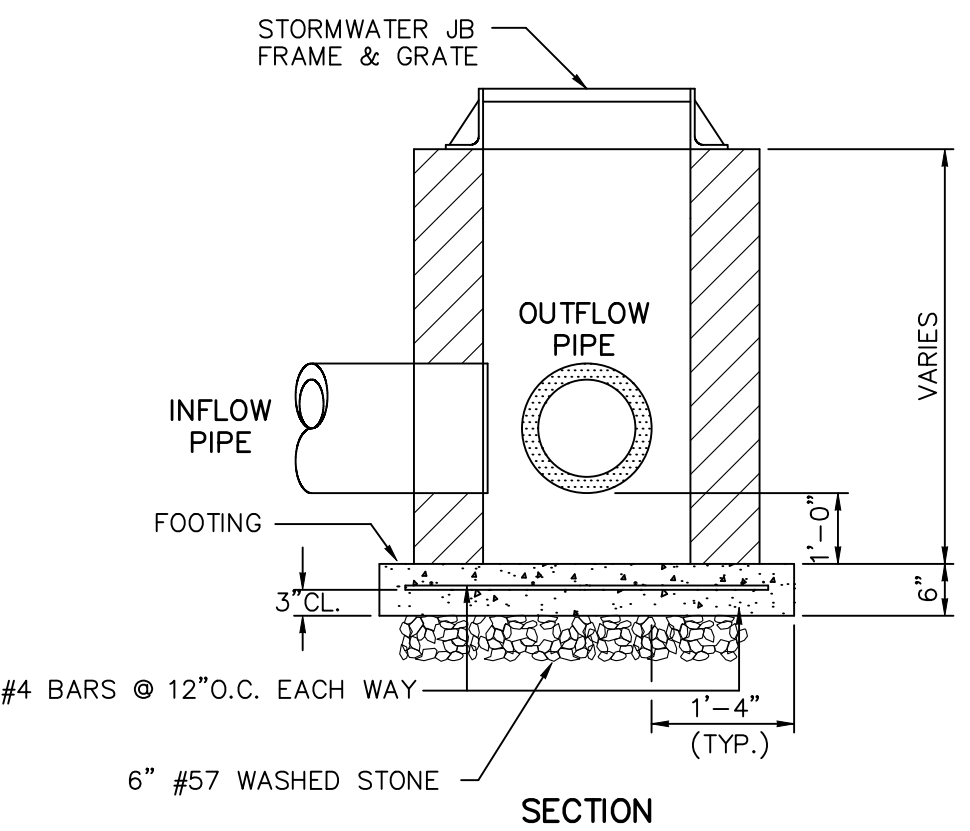
STANDARD CURB INLET DETAIL  
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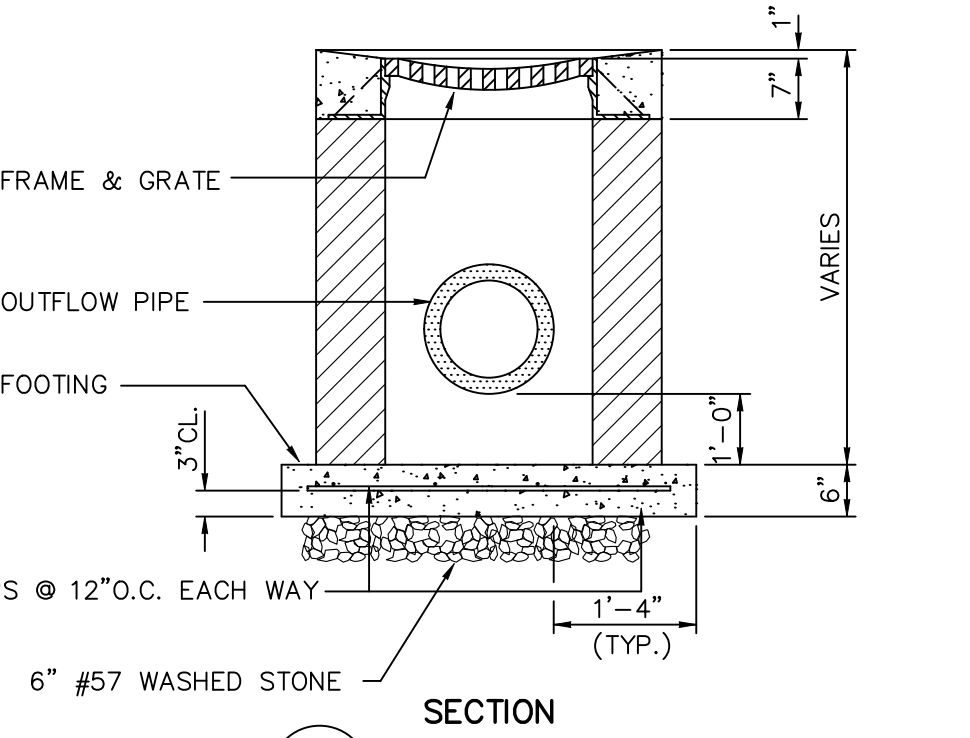
MONITORING WELL DETAIL  
 NOT TO SCALE



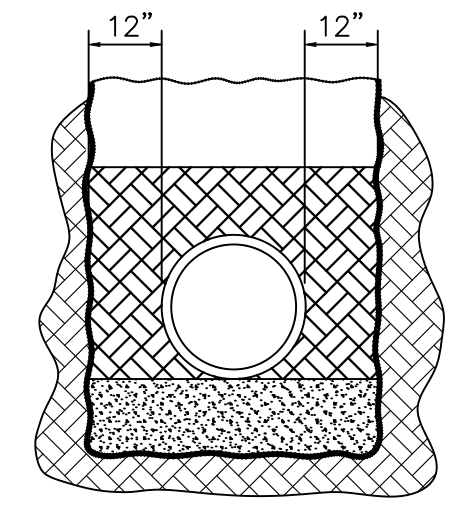
BIKE RACK DETAIL



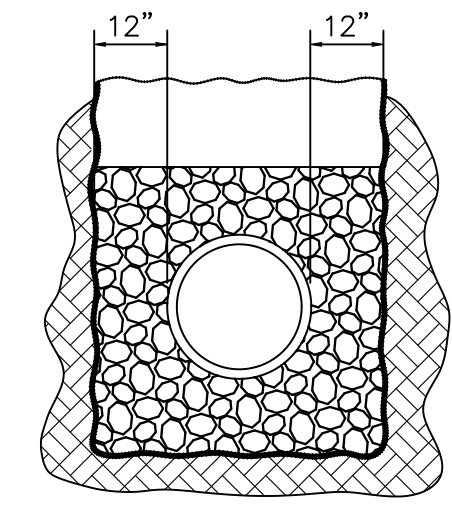
STORMWATER JUNCTION BOX DETAIL  
 NOT TO SCALE



DROP GRATE DETAIL  
 NOT TO SCALE



**TYPE 4**  
 PIPE BEDDED IN SAND, GRAVEL, OR CRUSHED STONE TO A DEPTH OF 1/8 PIPE DIAMETER, 4" MINIMUM WITH BACKFILL COMPACTED TO TOP OF PIPE. (APPROXIMATELY 80 PERCENT STANDARD PROCTOR, AASHTO T-99)

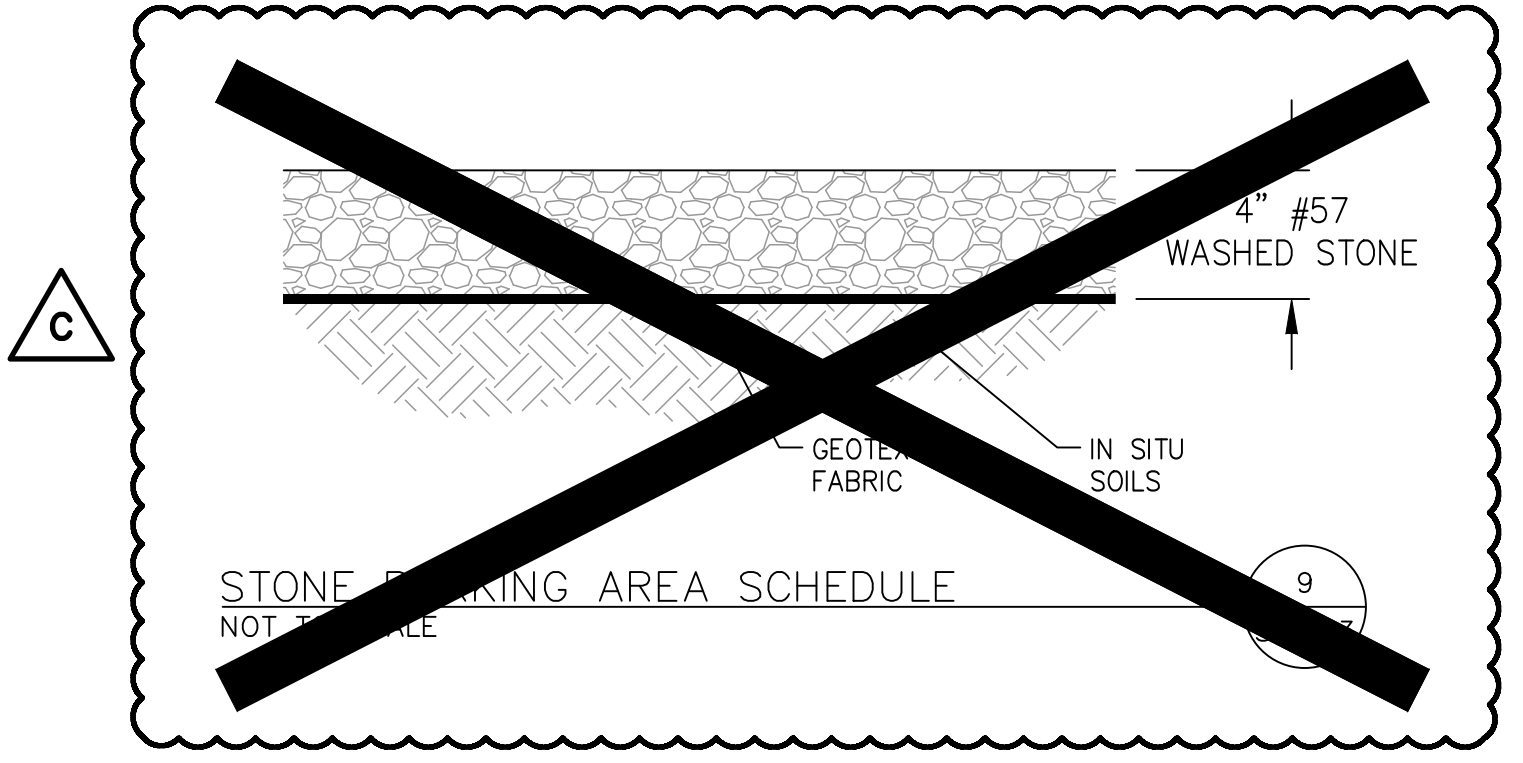


**TYPE 5**  
 PIPE BEDDED TO ITS CENTERLINE IN COMPACTED GRANULAR MATERIAL, 4" MINIMUM UNDER PIPE. COMPACTED GRANULAR OR SELECT MATERIAL TO TOP OF PIPE. (APPROXIMATELY 90 PERCENT STANDARD PROCTOR, AASHTO T-99)  
 (SELECT MATERIAL IS DEFINED AS NATIVE SOIL EXCAVATED FROM THE TRENCH, FREE OF ROCKS, ORGANIC MATERIAL, FOREIGN MATERIALS AND FROZEN EARTH)

FOR NORMAL PIPE SIZES 14 INCH AND LARGER, CONSIDERATION SHOULD BE GIVEN TO THE USE OF LAYING CONDITIONS OTHER THAN TYPE 1.

CONSIDERATION OF THE PIPE-ZONE EMBEDMENT CONDITIONS INCLUDED IN THIS FIGURE MAY BE INFLUENCE BY FACTORS OTHER THAN PIPE STRENGTH. FOR ADDITIONAL INFORMATION ON PIPE BEDDING AND BACKFILL, SEE ANSI/AWWA C600.

PIPE INSTALLATION DETAIL  
 NOT TO SCALE



STONE PARKING AREA SCHEDULE  
 NOT TO SCALE

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and prior project acceptance.

**WILMINGTON**  
 NORTH CAROLINA  
 Approved Construction Plan

Name: \_\_\_\_\_ Date: \_\_\_\_\_

Planning: \_\_\_\_\_  
 Traffic: \_\_\_\_\_  
 Fire: \_\_\_\_\_

**WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division  
 APPROVED STORMWATER MANAGEMENT PLAN

Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
 Signed: \_\_\_\_\_

NOTE: USE TYPE "E", "F", & "G" GRATE UNLESS OTHERWISE INDICATED.

DATE: 2001	STANDARD DETAIL	<p>CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807</p>
DRAWN BY: JSR/CMB	CATCH BASIN CASTING FOR 24" HOOD AND GRATE	
CHECKED BY: B.P. P.E.		
SCALE: NOT TO SCALE		

NOTE: 1. EXPANSION JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS.  
2. 50' MAX EXPANSION JOINT SPACING, 10' MAX CONTRACTION JOINT SPACING.  
3. MINIMUM INSTALLATION LENGTH IS 5 FT.  
4. CONCRETE TO BE 3000 PSI MIN.  
5. VERTICAL CURB AND GUTTER BASE CAN BE SLOPED 3/4" OR USE A FLAT BASE.

DATE: AUGUST, 2011	STANDARD DETAIL	<p>CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, N.C. 28402 (910) 341-7807</p>
DRAWN BY: PBR/SR	CURBING	
CHECKED BY: DEC		
SCALE: NOT TO SCALE		

NOTE: 1. JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS.  
2. SANITARY SEWER CLEAN-OUTS, WATER METERS, MANHOLES, AND VALVE LIDS TO BE LOCATED OUTSIDE SIDEWALK WHERE FEASIBLE.  
3. MINIMUM SIDEWALK WIDTH TO BE 6' MINIMUM IF PLACED AT BACK OF CURB.  
4. CONCRETE FOR ALL SIDEWALKS (EXCEPT ANY PORTION CONTAIN WITHIN A DRIVEWAY AFFRON) SHALL BE CLASS "A" - 3,000 PSI.  
5. MINIMUM REPLACEMENT FOR REPAIRS IS A 5' X 5' PANEL.  
6. 4" STONE BASE MAY BE REQUIRED FOR POOR SOIL CONDITIONS.  
7. MINIMUM DEPTH FOR TUNNELING BELOW SIDEWALK IS 12"  
8. MAX ADJACENT GROUND SLOPE WITHOUT RAILING IS 2:1  
9. MIN GRADE FOR PROPER DRAINAGE IS 1% IN AT LEAST 1 DIRECTION. MAX CROSS SLOPE IS 2%. MAX LONGITUDINAL SLOPE IS 8.3%, 10% IF LIMITED BY EXISTING CONDITIONS, OR NO GREATER THAN THE SLOPE OF THE EXISTING ADJACENT ROAD.

DATE: OCTOBER, 2010	STANDARD DETAIL	<p>CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, N.C. 28402 (910) 341-7807</p>
DRAWN BY: PBR/SR	SIDEWALK	
CHECKED BY: DEC		
SCALE: NOT TO SCALE		

NOTE: 1. STONE FOUNDATION SHALL BE CLASS "A" - 3,000 PSI.  
2. MINIMUM DEPTH FOR TUNNELING BELOW DRIVEWAY IS 12"  
3. MAX ADJACENT GROUND SLOPE WITHOUT RAILING IS 2:1  
4. MIN GRADE FOR PROPER DRAINAGE IS 1% IN AT LEAST 1 DIRECTION. MAX CROSS SLOPE IS 2%. MAX LONGITUDINAL SLOPE IS 8.3%, 10% IF LIMITED BY EXISTING CONDITIONS, OR NO GREATER THAN THE SLOPE OF THE EXISTING ADJACENT ROAD.

DATE: JUNE 1, 2015	STANDARD DETAIL	<p>CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, N.C. 28402 (910) 341-7807</p>
DRAWN BY: JSR	COMMERCIAL DRIVEWAY PLAN	
CHECKED BY: DEC, P.E.		
SCALE: NOT TO SCALE		

NOTE: 1. CURB TYPE, SIZE AND PATTERN SHALL BE COORDINATED WITH CITY OF WILMINGTON, TYPICAL BRICK PAVEMENT SHALL BE 4" x 8" x 2-3/4" HERRINGBONE PATTERN, RUMBLE COURTYARD, FULL RANGE COLOR, BRICK BY FINE HALL.  
2. PAVERS SHALL MEET OR EXCEED ASTM C1272, TYPE F STANDARD SPECIFICATION FOR HEAVY VEHICULAR PAVING BRICK.  
3. FINAL DESIGN OF BASE, SETTINGS BEDS AND EDGE RESTRAINTS SHALL BE DEPENDENT ON THE SOIL CONDITIONS AND APPLICATION.  
4. CONCRETE, HEADER TO BE 3000 PSI, BROOM FINISH, 1/2" RADIUS ON EDGES AND FLUSH WITH ASPHALT AND PAVERS. CONTROL JOINTS AT 25' O.C. (EQUAL SPACING). CONCRETE TO BE POURED AFTER CONTRACTION OF STONE SUB-BASE. DRIVEWAYS AND GRADE CROSSINGS SHALL UTILIZE AN EDGE RESTRAINT HEADER, TYPICALLY WITH THE SAME MATERIAL AS THE EXISTING CURB TYPE.

DATE: 2003	STANDARD DETAIL	<p>CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807</p>
DRAWN BY: BLB	STANDARD ONE-WAY DRIVEWAY	
CHECKED BY: JRF		
SCALE: NOT TO SCALE		

NOTE: 1. CURB TYPE, SIZE AND PATTERN SHALL BE COORDINATED WITH CITY OF WILMINGTON, TYPICAL BRICK PAVEMENT SHALL BE 4" x 8" x 2-3/4" HERRINGBONE PATTERN, RUMBLE COURTYARD, FULL RANGE COLOR, BRICK BY FINE HALL.  
2. PAVERS SHALL MEET OR EXCEED ASTM C1272, TYPE F STANDARD SPECIFICATION FOR HEAVY VEHICULAR PAVING BRICK.  
3. FINAL DESIGN OF BASE, SETTINGS BEDS AND EDGE RESTRAINTS SHALL BE DEPENDENT ON THE SOIL CONDITIONS AND APPLICATION.  
4. CONCRETE, HEADER TO BE 3000 PSI, BROOM FINISH, 1/2" RADIUS ON EDGES AND FLUSH WITH ASPHALT AND PAVERS. CONTROL JOINTS AT 25' O.C. (EQUAL SPACING). CONCRETE TO BE POURED AFTER CONTRACTION OF STONE SUB-BASE. DRIVEWAYS AND GRADE CROSSINGS SHALL UTILIZE AN EDGE RESTRAINT HEADER, TYPICALLY WITH THE SAME MATERIAL AS THE EXISTING CURB TYPE.

DATE: NOVEMBER, 2011	STANDARD DETAIL	<p>CITY OF WILMINGTON ENGINEERING OFFICE 414 CHESTNUT STREET WILMINGTON, N.C. 28401 (910) 341-7807</p>
DRAWN BY: JSR	BRICK STREET TYPICAL SECTION	
CHECKED BY: BDR, P.E.		
SCALE: NOT TO SCALE		

SIDEWALKS WITHIN DRIVEWAYS SHALL BE 6" THICK.

ALL PROPOSED VEGETATION WITHIN THE SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10'.

NOTE: IF A NON-VAN PARKING SPACE SHARES AN ACCESS AISLE WITH A VAN ACCESSIBLE SPACE, THE ACCESS AISLE SHALL BE 96" WIDE.

HANDICAPPED PARKING  
ACCESSIBLE PARKING LAYOUT  
NTS

NOTE: 1. PAVEMENT MARKINGS AND SYMBOLS SHALL BE DESIGNED PER MUTCD WITH APPROVAL FROM CITY TRAFFIC ENGINEERING, AND INSTALLED IN ACCORDANCE WITH NCDOT DIVISION 12 SPECIFICATIONS.  
2. GENERALLY, PERMANENT MARKINGS WILL BE UNIFORM AND SMOOTH AND WILL CONSIST OF 120ML OF THERMOPLASTIC FOR ALL LINES AND SYMBOLS; TEMPORARY MARKINGS SHALL CONSIST OF 15 MIL PAINT, EVERY 6 MONTHS.  
3. DURING APPLICATION THE EXISTING PAVEMENT SHALL NOT SHOW SIGNS OF MOISTURE AND BE CLEAN, FREE OF DIRT AND OIL, ETC. THERMOPLASTIC SHALL ONLY BE INSTALLED WHERE PAVEMENT IS 50' F AND RISING. PAINT SHALL ONLY BE INSTALLED WHERE PAVEMENT IS 40' F AND RISING.

DATE: DECEMBER, 2011	STANDARD DETAIL	<p>CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807</p>
DRAWN BY: JSR	PAVEMENT MARKINGS LINE TYPES	
CHECKED BY: BDR, P.E.		
SCALE: NOT TO SCALE		

ISSUED FOR AGENCY REVIEW ONLY

NOT RELEASED FOR CONSTRUCTION

BEFORE YOU DIG, CALL North Carolina 811

APPROVED STORMWATER MANAGEMENT PLAN

APPROVED CONSTRUCTION PLAN

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Coastal Land Design, PLLC  
Civil Engineering / Landscape Architecture  
Land Planning / Construction Management  
NCBELS Firm License P-0369  
P.O. Box 1172 Phone: 910-254-9333  
Wilmington, NC 28402 Fax: 910-254-0502  
www.cldeng.com

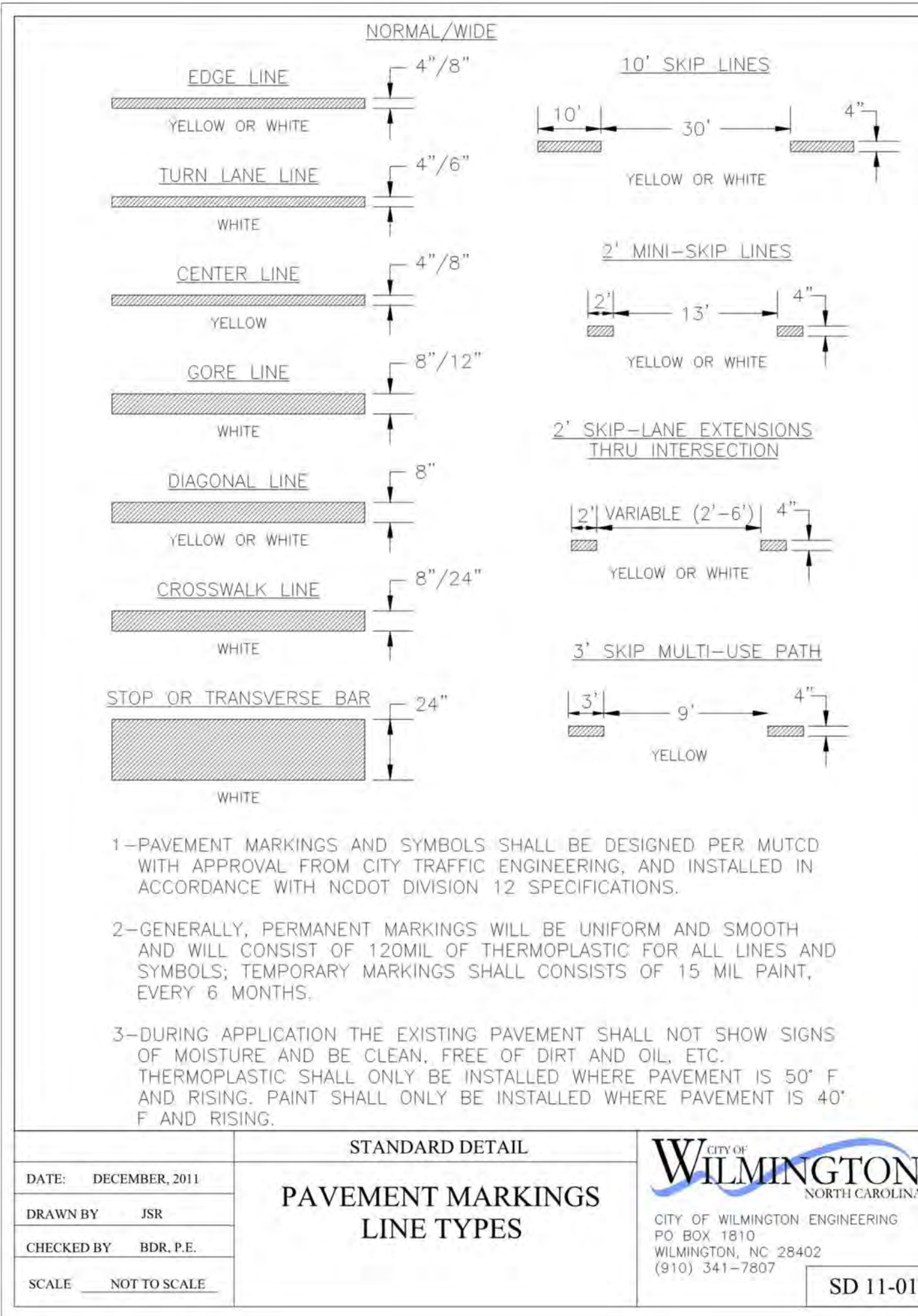
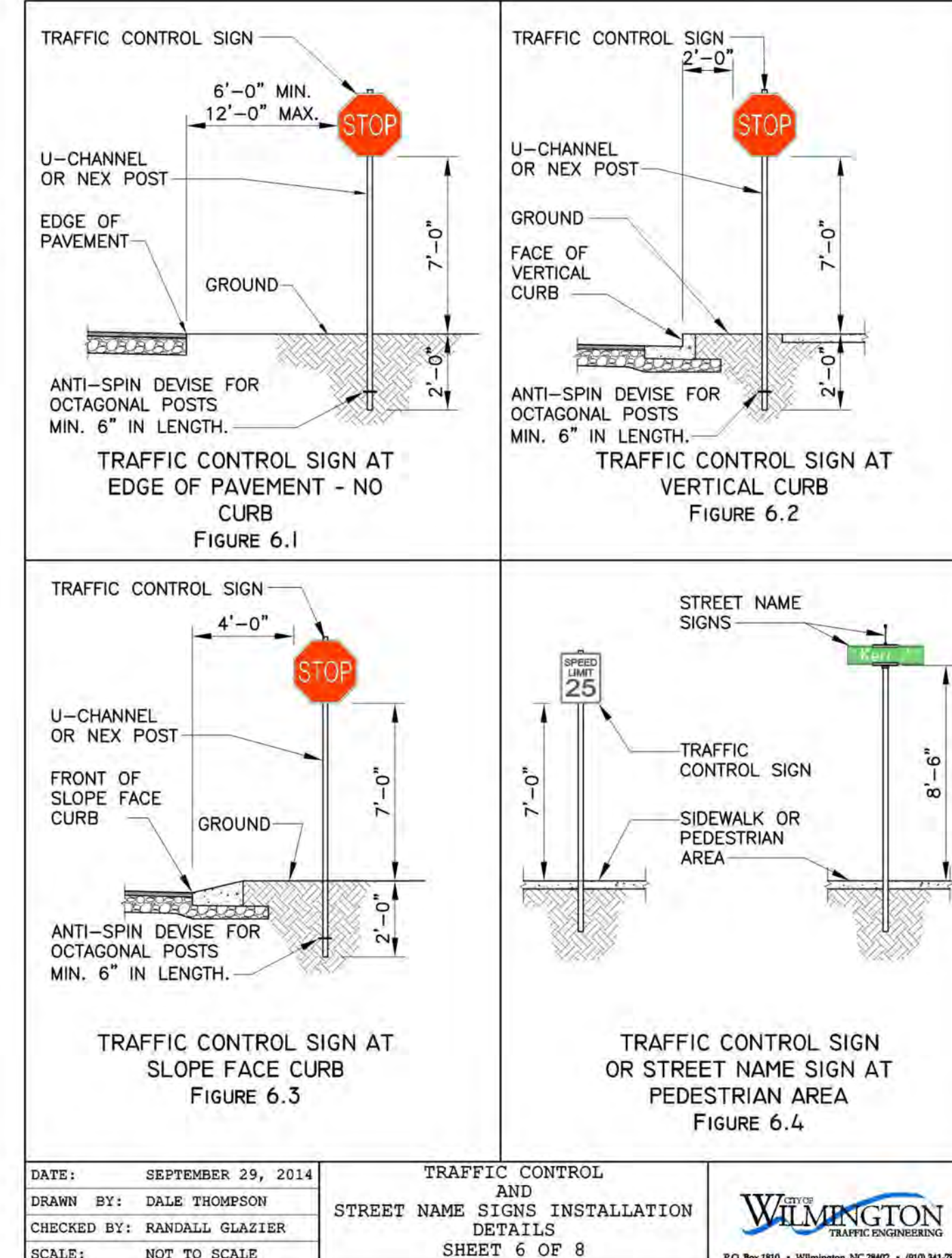
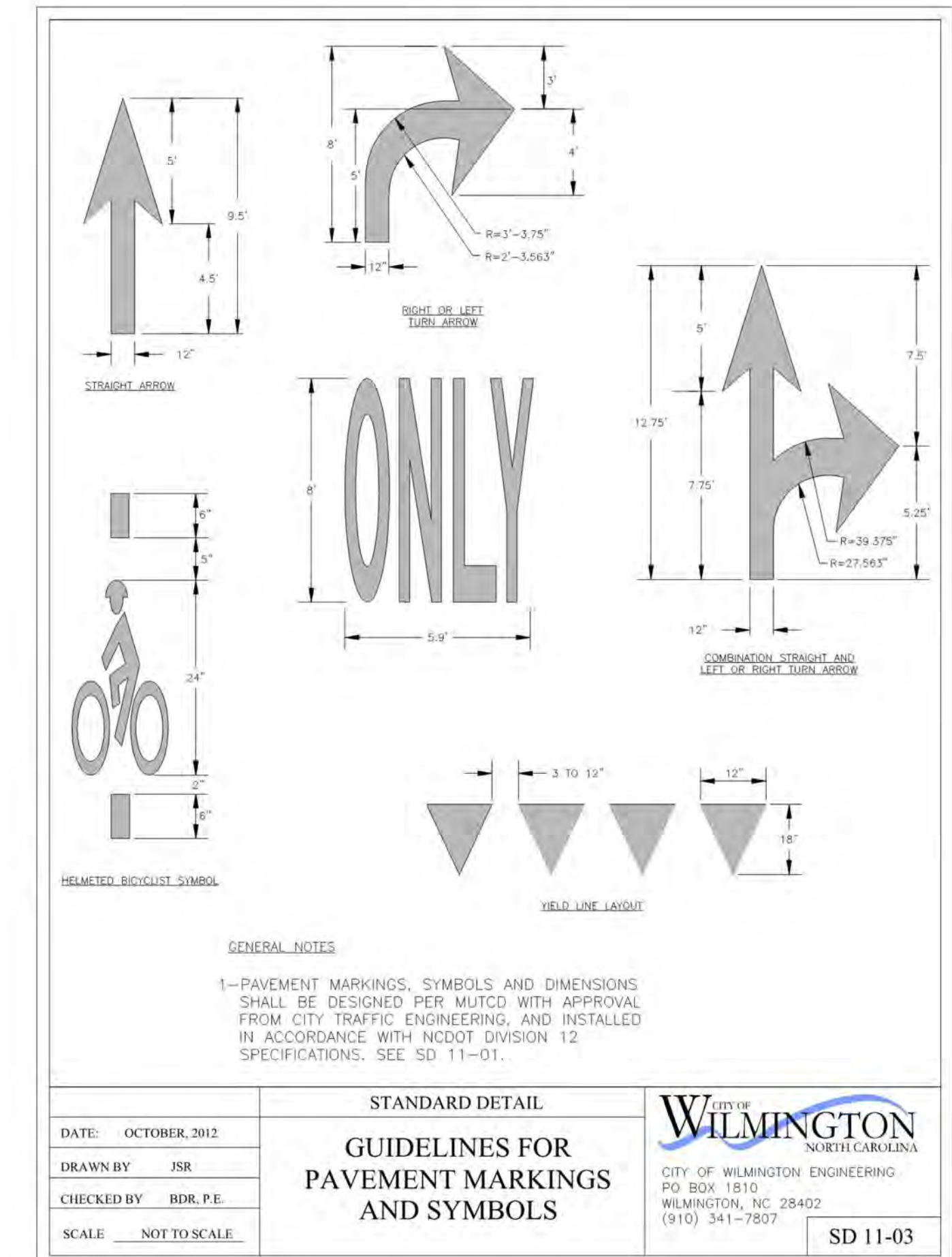
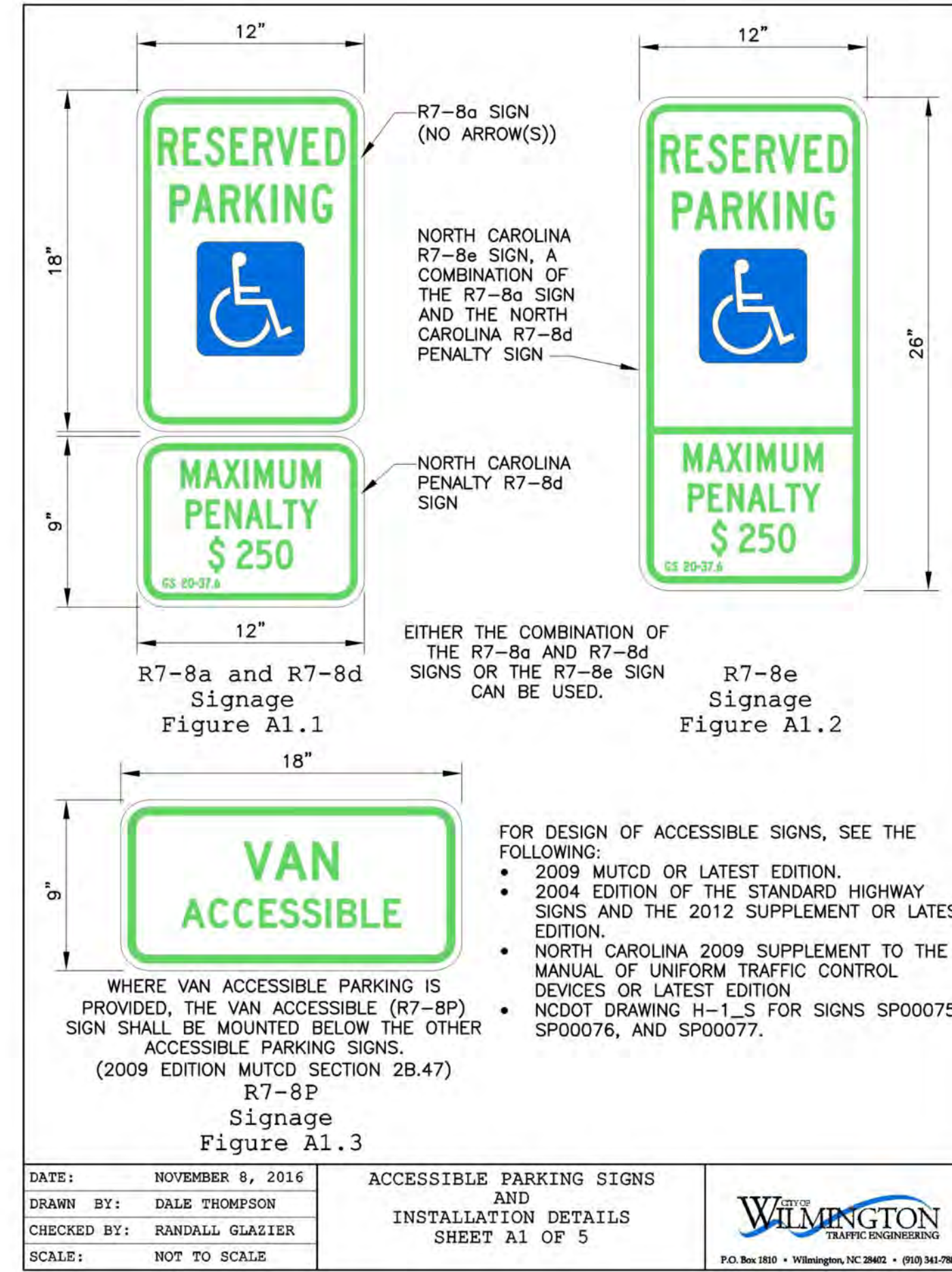
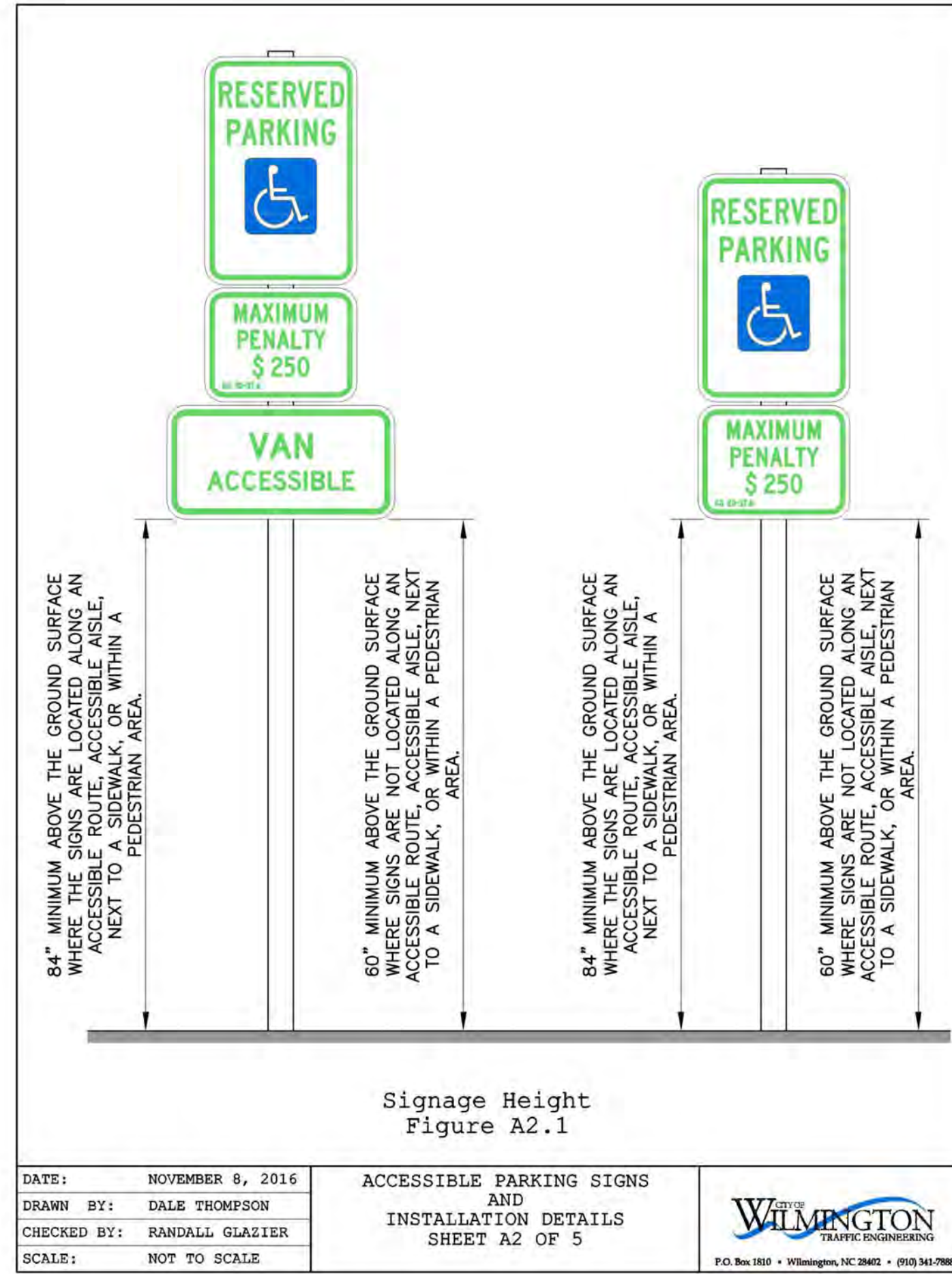
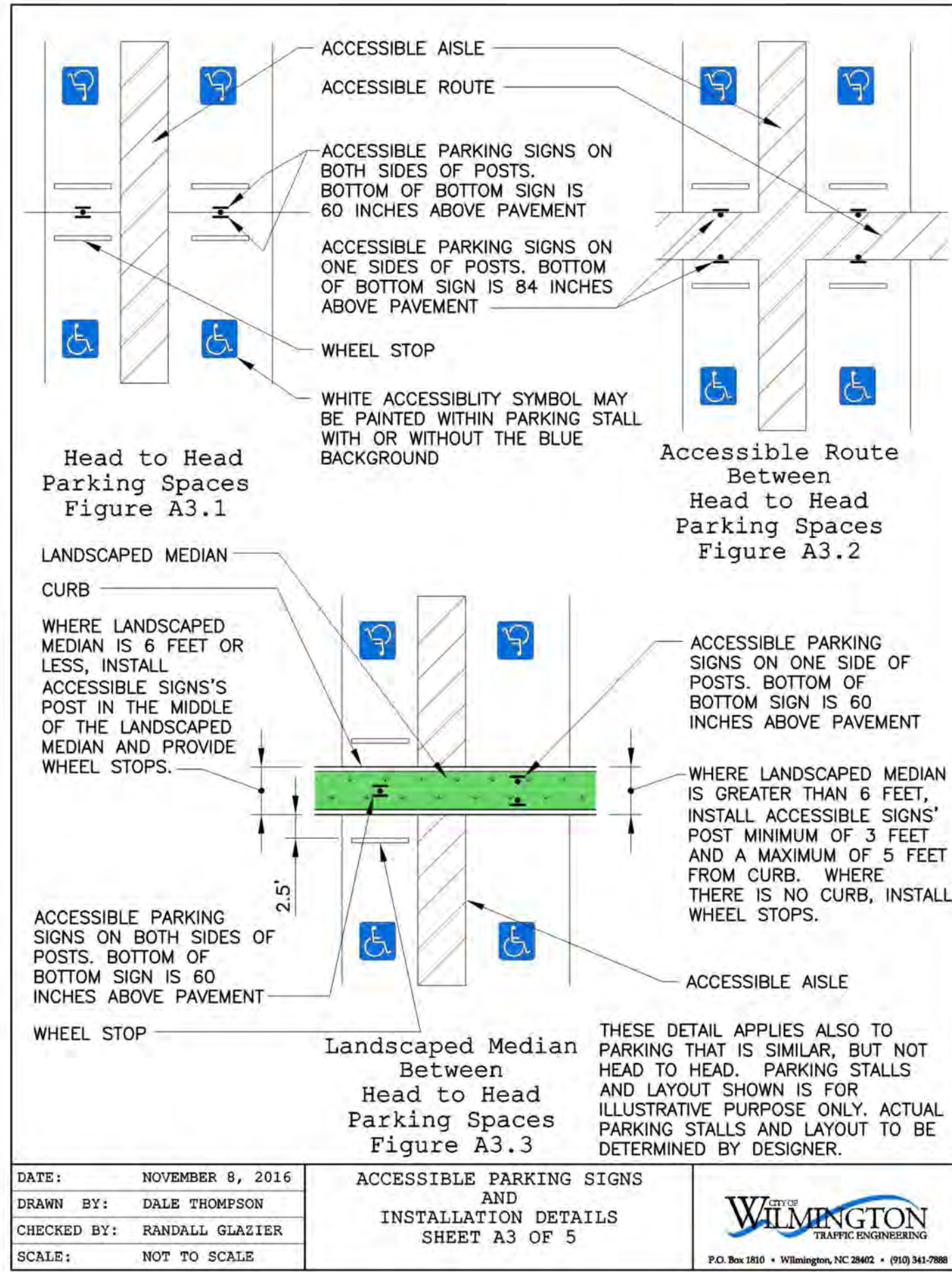
HOURGLASS STUDIOS  
613 SURREY ST, WILMINGTON, NC  
STANDARD CONSTRUCTION DETAILS

REV	DATE	DESCRIPTION
C	6/15/18	RELEASE FOR CITY OF WILMINGTON TRC THIRD REVIEW
B	2/19/18	RELEASE FOR CITY OF WILMINGTON TRC SECOND REVIEW
A	1/29/18	INITIAL RELEASE FOR CITY OF WILMINGTON STORMWATER REVIEW

OWNER:  
HOURGLASS STUDIOS, LLC  
521 3RD ST S  
WILMINGTON, NC 28401

APPROVED: JFB PROJECT: 435-04  
CHECKED: JRC SCALE: NTS  
DESIGNED: FB/JC RELEASE: TRC

SHEET  
SD-01



ISSUED FOR AGENCY REVIEW ONLY

NOT RELEASED FOR CONSTRUCTION

**BEFORE YOU DIG, CALL**

**North Carolina 811**  
 www.nc811.org

Approved Construction Plan  
 Name: \_\_\_\_\_ Date: \_\_\_\_\_

Planning: \_\_\_\_\_  
 Traffic: \_\_\_\_\_  
 Fire: \_\_\_\_\_

**WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division  
 APPROVED STORMWATER MANAGEMENT PLAN  
 Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
 Signed: \_\_\_\_\_

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 Wilmington, NC 28402 Fax: 910-254-0502  
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**HOURGLASS STUDIOS**  
**613 SURREY ST, WILMINGTON, NC**

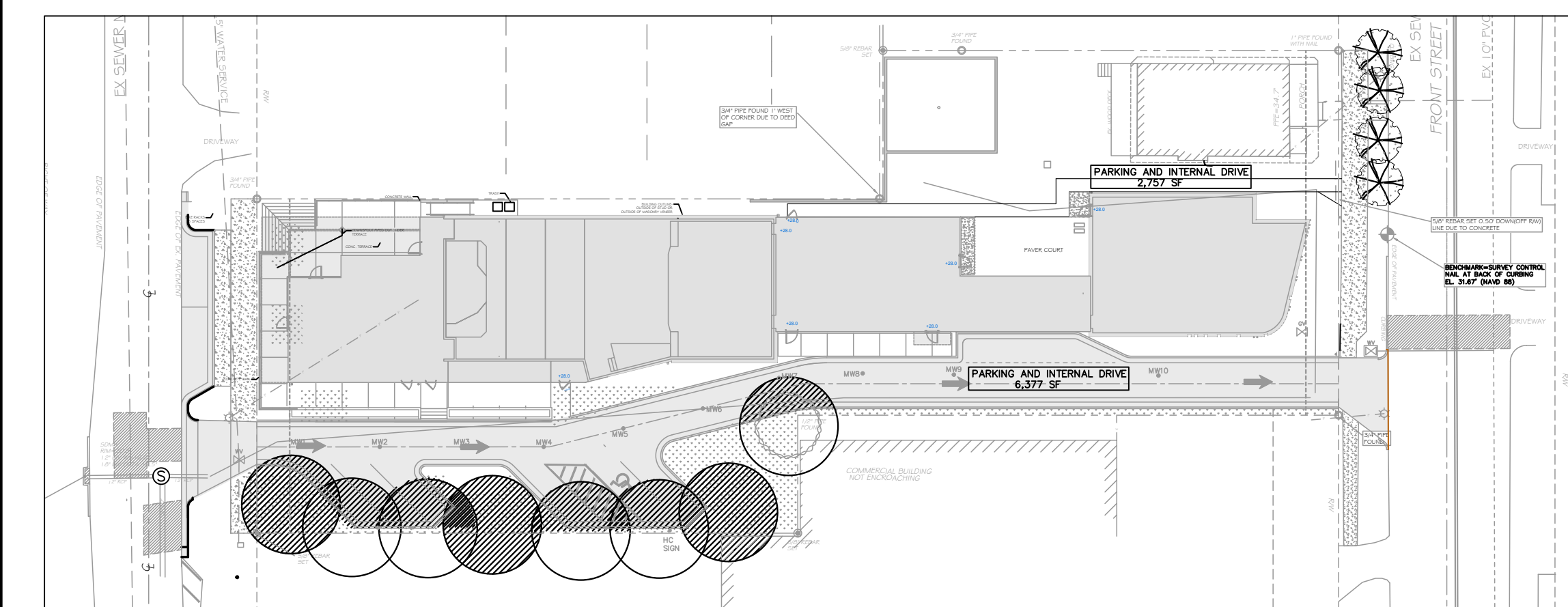
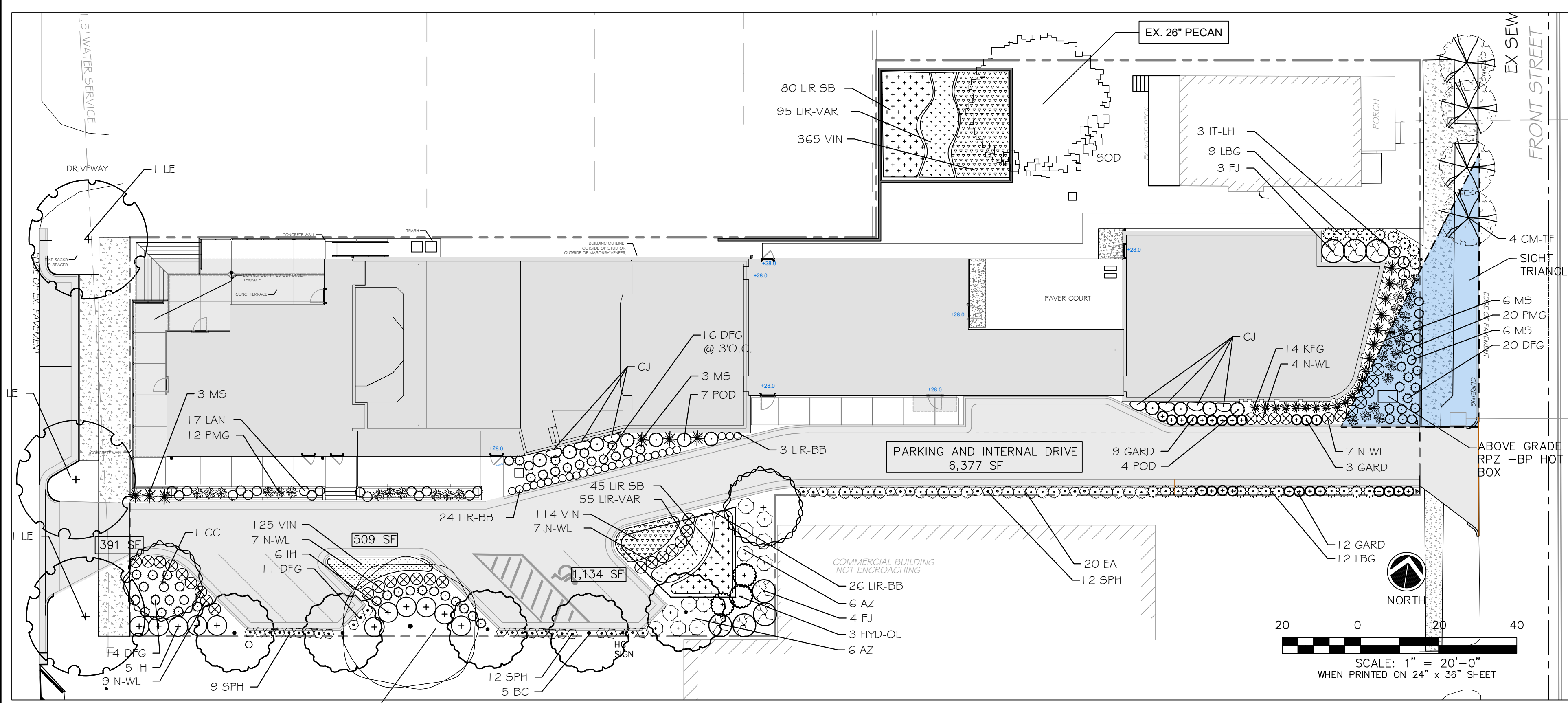
**STANDARD CONSTRUCTION DETAILS**

REV	DATE	DESCRIPTION	JRC	JFB	JRC	INIT
C	6/15/18	RELEASE FOR CITY OF WILMINGTON TRC THIRD REVIEW		JFB		
B	2/19/18	RELEASE FOR CITY OF WILMINGTON TRC SECOND REVIEW		JFB		
A	1/29/18	RELEASE FOR CITY OF WILMINGTON TRC INITIAL REVIEW		JRC		

**OWNER:**  
 HOURGLASS STUDIOS, LLC  
 521 3RD ST S  
 WILMINGTON, NC 28401

APPROVED: JRC PROJECT: 435-04  
 CHECKED: JRC SCALE: NTS  
 DESIGNED: FB/JC RELEASE: TRC

**SHEET**  
**SD-02**



SOUTH PARKING AND DRIVE = 6,377 SF  
 20% SHADE AREA REQUIRED = 1,275 SF  
 SHADE AREA PROVIDED = 3,896 SF

## SHADING PLAN

SCALE: 1"=40'

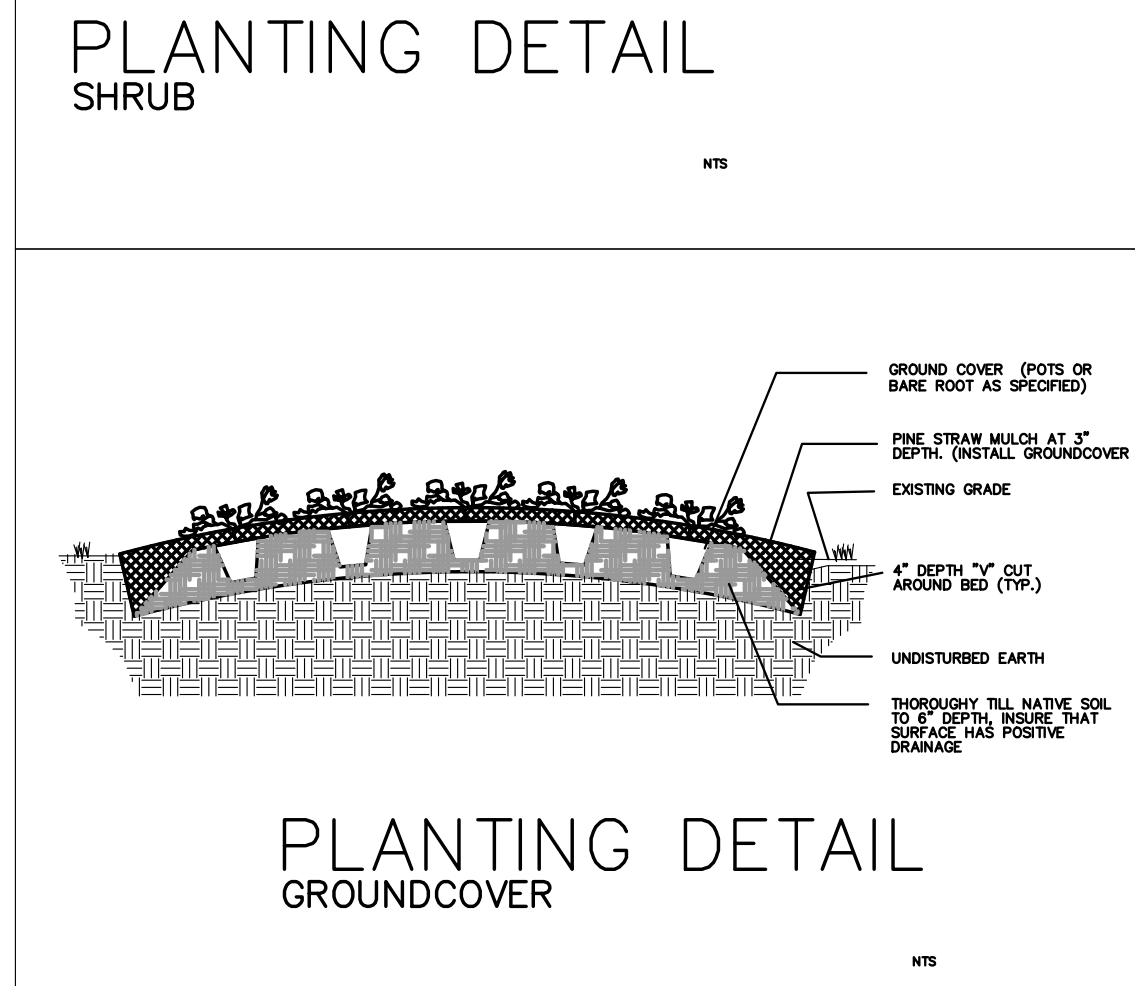
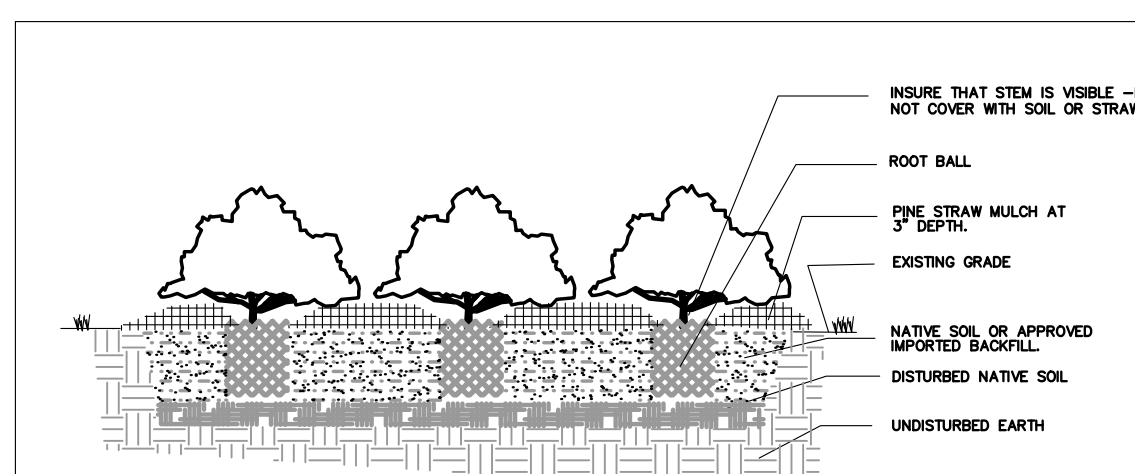
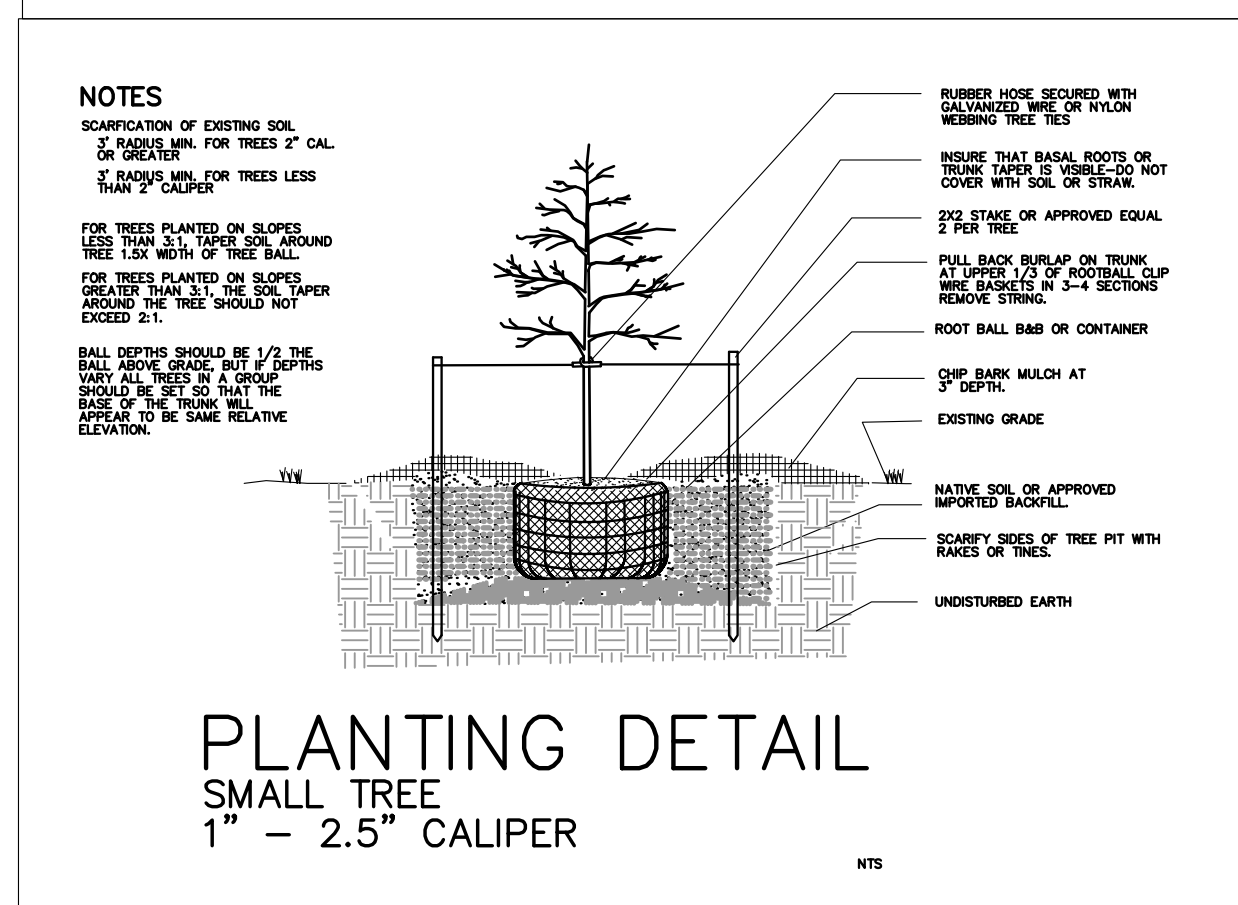
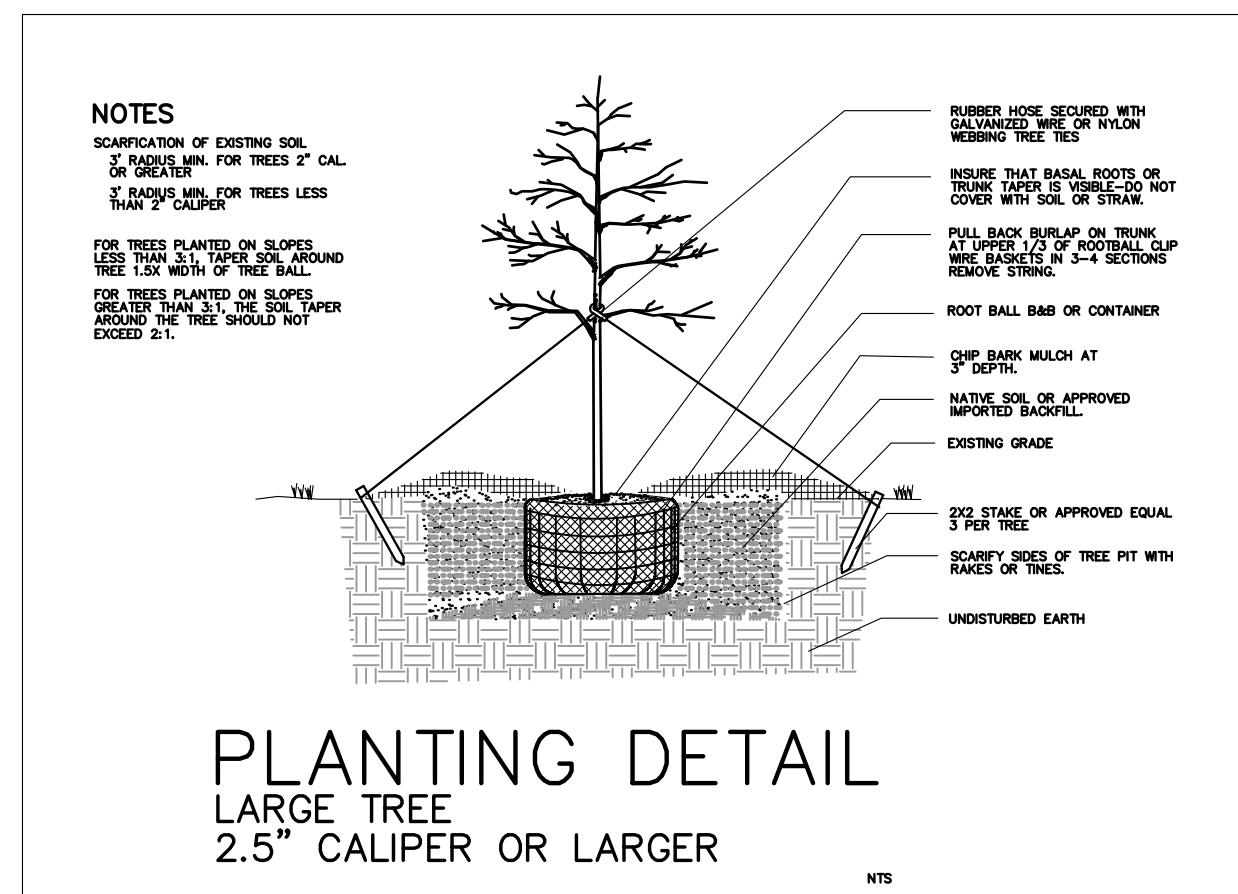
Proposed Significant Trees to be Removed				
Tree Name	# of Trees	DBH	% Mitigation	Total DBH
MAGNOLIA	1	28"	100	28
Total DBH of Removed Significant Trees			=	<b>28"</b>
Total Trees Req. for Mitigation			=	$\frac{\text{Total DBH} \times 2}{3} = 19$

Sec. 18-460 b. Significant trees. The total number of replacement trees shall be determined by multiplying the total DBH of the removed significant trees by two (2) times the percentage for the type of tree in Table IV and dividing by three (3).

Credit for Preserved Trees (Sec. 18-448 Table 1)			
# of Preserved Trees	Size (DBH)	Credit Given	Resulting Credit
1	40"	DBH/6	7
1	26"	DBH/7	4
Total resulting Credit for 2 Preserved Trees			= <b>11</b>



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



## PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	CAL.	HT.	REMARKS	QUAN.
<b>TREES</b>						
BC	TAXODIUM DISTICHUM 'MICKELSON SHAWNEE BRAVE'	MICKELSON BALD CYPRESS	2.5"		84B	5
LE	LILYDUM PARVIFOLIA DRAKE	DRAKE LACEBARK ELM	2.5"		84B	3
CC	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	2.5"		84B	2
CM	LAGERSTROEMIA INDICA 'ARAPAHO'	ARAPAHO CRAPE MYRTLE	8-10'		TREE FORM SINGLE STEM	4
<b>SHRUBS</b>						
MS	MISCANTHUS SINENSIS 'GRACILIMUS'	MISCANTHUS ADAGIO	3' MIN.		3 GAL.	13
CA	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FOERSTER'S FEATHER REED GRASS	3 GAL.			14
DFG	FENNICETUM ORIENTALE 'KARLEY ROSE'	ORIENTAL FOUNTAIN GRASS	3 GAL.			61
LBG	LOMANDRA LONGIFOLIA 'BREEZE GRASS' PP# 15,420	LOMANDRA BREEZE GRASS	3 GAL.			21
PMG	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS	3 GAL.			32
IH	RAPHIOLEPIS UMBELLATA	YEDDO HAWTHORN	3 GAL.			11
SPh	ILEX CRENATA 'SKY PENCIL'	SKY PENCIL HOLLY	3' MIN.		7 GAL.	33
FJ	FATSIA JAPONICA	FATSIA	7 GAL.			7
POD	PODOCARPUS MACROPHYLLUS VAR. MAKI	PODOCARPUS MAKI	15 GAL.			11
HYD-OL	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	3 GAL.			3
N-WL	NEPETA RACEMOSA 'WALKER'S LOW'	CATMINT	3 GAL.			34
GARD	GARDENIA JASMINOIDES 'KLEIM'S HARDY'	GARDENIA 'KLEIM'S HARDY'	3 GAL.			24
AZ	AZALEA X 'HINO-CRIMSON'	HINO CRIMSON AZALEA	3' MIN.		3 GAL.	12
EA	THUJA OCCIDENTALIS 'EMERALD'	EMERALD ARBORVITAE	7 GAL.			20
<b>GROUNDCOVER / PERENNIAL</b>						
LIR-VAR	LIRIOPE MUSCARI 'VAREGATA'	VARIEGATED LIRIOPE	QT.		Fully Rooted 18" OC	XX
LIR-SB	LIRIOPE MUSCARI 'SUPER BLUE'	'SUPER BLUE' LIRIOPE	QT.		Fully Rooted 24" OC	XX
LIR-BB	LIRIOPE MUSCARI 'BIG BLUE'	'BIG BLUE' LIRIOPE	QT.			XX
LAN	LANTANA 'SELOWIANA MONNA'	TRAILING WHITE LANTANA	QT.		Fully Rooted 24" OC	XX
VINCA	VINCA MINOR	VINCA	QT.		12" OC	XX
CJ	TRACHELOSPERMUM JASMINOIDES	CONFEDERATE JASMINE	QT.		3 GAL.	XX
SOD	SOD SELECTION	ZENITH OR CROWN ZOTISIA				

## LANDSCAPE REQUIREMENTS

### STREET TREES

18-204 UMX: Within the 1945 corporate limits, street tree plantings in below-grade planters shall be included in the public right-of-way at the rate of one (1) tree per thirty (30) feet of frontage.

FRONT STREET: 1 11 LF-15' (DRIVEWAYS) 30LF = 3 TREES  
 REQUIRED TREES = 4  
 PROVIDED TREES = 4

SURREY STREET: 1 02 LF - 14' DRIVEWAY 30 LF = 3 TREE  
 REQUIRED TREES = 3  
 PROVIDED TREES = 3

### STREETYARD/ BUFFERS

18-204 UMX: All development within the UMX District may be exempted from required buffers and streetyard requirements, as approved by the technical review committee.

### MITIGATION TREES

REQUIRED: 1 9  
 PRESERVED CREDIT: 1 1  
 PROVIDED: 5

PAYMENT IN LIEU FOR 3 TREES SHALL BE PAID TO THE CITY TREE IMPROVEMENT FUND

NOT RELEASED FOR CONSTRUCTION

ISSUED FOR AGENCY REVIEW ONLY

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 www.nc811.org

## LANDSCAPE NOTES

- ALL LANDSCAPE MATERIAL MUST BE INSTALLED PRIOR TO FINAL BUILDING INSPECTION
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND/OR RELOCATION OF EXISTING UTILITIES IN COORDINATION WITH THE APPROPRIATE UTILITY AGENCY OR COMPANY.
- CONTRACTOR SHALL NOT SUBSTITUTE FOR ANY OF THE PLANT MATERIAL THAT IS SPECIFIED WITHOUT PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT.
- VERIFICATION OF TOTAL QUANTITIES AS SHOWN IN THE PLANT LIST SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- MULCH UNDER ALL PROPOSED TREES AND SHRUBS WITH SHREDDED HARDWOOD AT A 3"-4" DEPTH OR APPROVED EQUAL.
- PLANT SIZES INDICATED SPECIFY MINIMUM ALLOWABLE SIZES AT PLANTING. WHERE CONTAINER AND HT. SIZES ARE INDICATED FOR A SINGLE SPECIES, BOTH SIZE REQUIREMENTS MUST BE MET.
- THERE SHALL BE AT LEAST A 3 FT. SEPARATION BETWEEN LANDSCAPED AREAS AND PARKING AREAS TO ALLOW VEHICLE OVERHANG WHEN PARKING BLOCKS ARE NOT USED.
- ALL PLANTINGS USED TO SCREEN THE DRIVES AND PARKING AREAS FROM ADJOINING ROADWAYS WILL NEED TO BE A MINIMUM OF 24" HIGH AT TIME OF PLANTING.
- ALL OTHER AREAS NOT BEING MULCHED TO BE SEEDED PER SEEDING SCHEDULE INCLUDED AS PART OF THE S&E PLANS.
- THE OWNERS OF THE PROPERTY AND THEIR AGENTS, HEIRS, OR ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, PRESERVATION AND MAINTENANCE OF ALL PLANTING AND PHYSICAL FEATURES SHOWN ON THIS PLAN. THE OWNERS SHALL BE RESPONSIBLE FOR ANNUAL MAINTENANCE OF THE VEGETATION TO INCLUDE BUT NOT BE LIMITED TO:
  - FERTILIZATION**  
TREES: SHRUBS AND GRASSED AREAS: BROADCAST A SLOW RELEASE FERTILIZER OVER THE MULCHED BEDS AT THE RECOMMENDED RATES AS SHOWN ON THE BAGS, ONCE MID-FEBRUARY AND ONCE MID-SEPTEMBER. THOROUGH WATERING IS REQUIRED UPON COMPLETION.
  - PRUNING WITHIN LIMITS**  
PRUNING WHEN NECESSARY, WILL BE DONE TO MAINTAIN THEIR NORMAL GROWTH PATTERN AND TO REMOVE DEAD OR DISEASED PLANT MATERIAL. THERE SHALL BE NO TOPPING OF TREES.
  - PEST CONTROL (OPTIONAL)**  
WEED CONTROL TO BE PROVIDED EARLY FEBRUARY, APRIL, JUNE, AUGUST AND OCTOBER IN THE SHRUB/TREE BEDS AND IN THE LAWN AREAS. INSECT DAMAGE SHALL BE TREATED WHEN NECESSARY TO PREVENT DAMAGE TO VEGETATION.
  - MULCHING**  
ALL AREAS AROUND THE BUILDING FOUNDATION AND SHRUB/TREE BEDS SHALL BE RE-MULCHED SO THAT THEY CONTAIN A MIN. DEPTH OF TWO INCHES AND A MAXIMUM DEPTH OF THREE INCHES. MULCH USED SHALL BE EQUAL WHICH WAS SUPPLIED DURING THE INSTALLATION OF THE PLANTS.
  - MOWING**  
MOWING SHALL BE DONE AS NECESSARY TO KEEP GRASS AT THE APPROPRIATE HEIGHT TO INSURE A HEALTHY GROWTH PATTERN.
  - PROTECTION OF ROOT ZONES**  
TREE/SHRUB ROOT ZONES SHOULD BE PROTECTED FROM FUTURE CONSTRUCTION AND EQUIPMENT AS MUCH AS POSSIBLE TO AVOID DAMAGE OR COMPACTION TO THE ROOT AREAS.
  - WATERING SCHEDULE FOR IRRIGATION SYSTEM**  
MAINTENANCE SHALL INCLUDE A THOROUGH INITIAL WATERING WITH WEEKLY WATERINGS THEREAFTER FOR THE FIRST 30 DAYS. WATERINGS THEREAFTER BE ON AN AS NEEDED SCHEDULE PER LOCAL CONDITIONS.
  - STAKE AT WIRE REMOVAL**  
AT THE END OF THE FIRST YEAR ALL PLANT STAKING AND GUYING SYSTEMS SHALL BE REMOVED.
  - PROTECTED TREE REGULATION**  
PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.



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 www.cdeng.com

**HOURGLASS STUDIOS**  
**613 SURREY ST, WILMINGTON, NC**

**LANDSCAPE PLAN**

REV	DATE	DESCRIPTION	INIT
D	7/19/18	RELOCATED BC AND CC TREES FURTHER AWAY FROM INF. TRENCH	JFB
C	6/15/18	RELEASE FOR CITY OF WILMINGTON TRC THIRD REVIEW	JFB
B	2/19/18	RELEASE FOR CITY OF WILMINGTON TRC SECOND REVIEW	JFB
A	1/29/18	RELEASE FOR CITY OF WILMINGTON TRC INITIAL REVIEW	JRC

**OWNER:**  
**HOURGLASS STUDIOS, LLC**  
 521 3RD ST S  
 WILMINGTON, NC 28401

APPROVED: JFB	PROJECT: 435-04
CHECKED: JFB	SCALE: AS NOTED
DESIGNED: FB/NA	RELEASE: TRC

**SHEET**  
**LA-01**

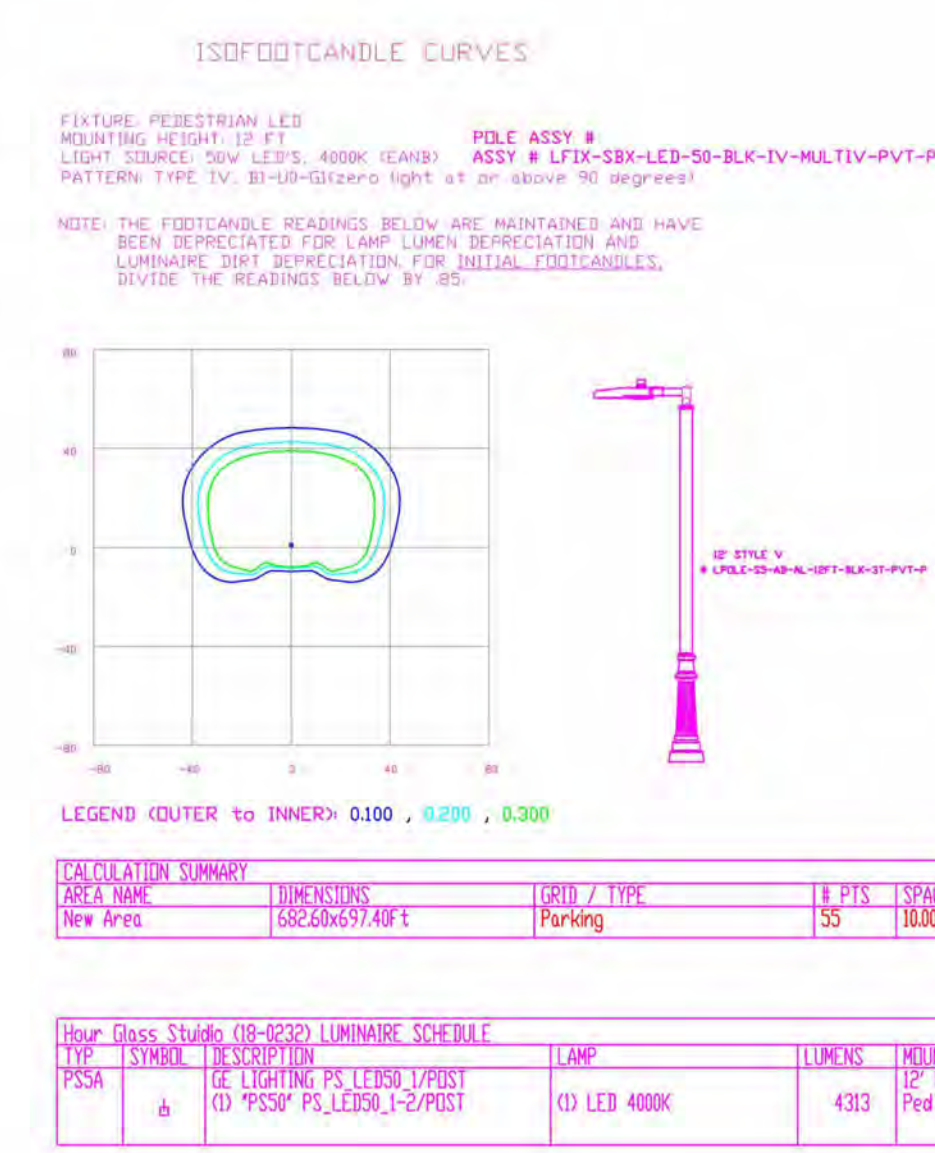
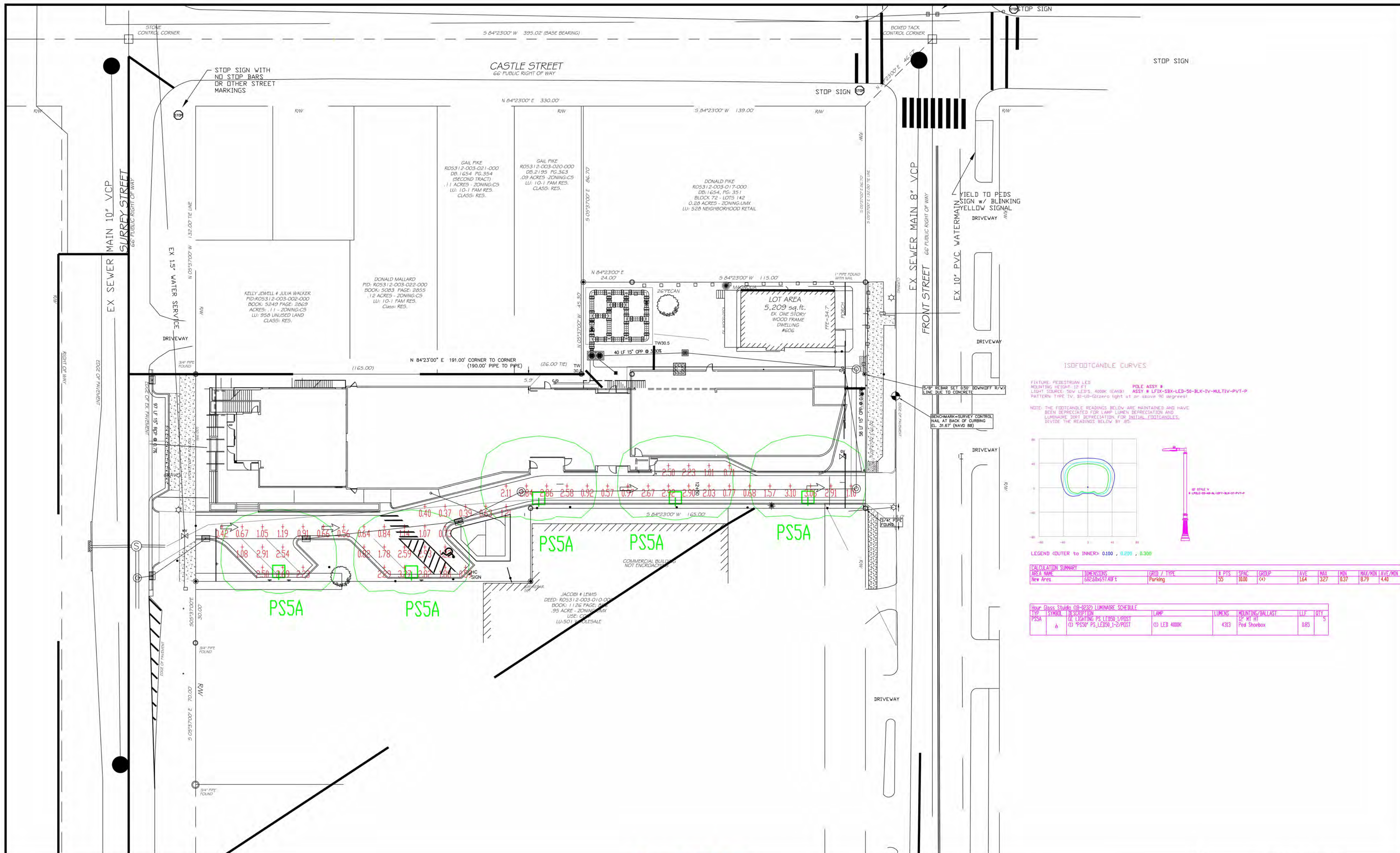




**Coastal Land Design, PLLC**  
 Civil Engineering / Landscape Architecture  
 Land Planning / Construction Management  
 NCBELS Firm License P-0369  
 P.O. Box 1172 Phone: 910-254-8333  
 Wilmington, NC 28402 Fax: 910-254-0502  
 www.cldeng.com

**HOURGLASS STUDIOS  
 613 SURREY ST, WILMINGTON, NC**

**LIGHTING PLAN**



**LIGHTING DESIGN TOLERANCE**  
 The calculated footcandle light levels in this lighting design are predicted values and are based on specific information that has been supplied to Duke Energy Progress. Any inaccuracies in the supplied information, differences in luminaire installation, lighted area geometry including elevation differences, reflective properties of surrounding surfaces, obstructions (foliage or otherwise) in the lighted area, or lighting from sources other than listed in this design may produce different results from the predicted values. Normal tolerances of voltage, lamp output, and ballast and luminaire manufacture will also affect results.

Customer approval: \_\_\_\_\_ Date: \_\_\_\_\_

DISTANCE CALIBRATION (INCHES)  
 0 0.5 1.0 2.0 3.0 4.0



**PROPRIETARY & CONFIDENTIAL**  
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HOURGLASS STUDIOS WILMINGTON, NC	
SITE LIGHTING PLAN	
Designed by	DEP LIGHTING SOLUTIONS
Reviewed by	N. Johnson Scale: 1/8" = 1'-0" NTS
Date	08/14/2018 Size: "Arch D"
Description	LED Pedestrian Shoebox
Drawing No.	18-0232A Sht. 1 OF 1

**CITY OF WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division  
 APPROVED STORMWATER MANAGEMENT PLAN  
 Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
 Signed: \_\_\_\_\_

**CITY OF WILMINGTON**  
 NORTH CAROLINA  
 Approved Construction Plan  
 Name: \_\_\_\_\_ Date: \_\_\_\_\_  
 Planning: \_\_\_\_\_  
 Traffic: \_\_\_\_\_  
 Fire: \_\_\_\_\_

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

ISSUED FOR AGENCY REVIEW ONLY

NOT RELEASED FOR CONSTRUCTION



APPROVED:	JFB	PROJECT:	435-04
CHECKED:	JFB	SCALE:	AS NOTED
DESIGNED:	FBNA	RELEASE:	TRC

SHEET  
**L-01**

# HOURGLASS STUDIOS

612 S FRONT ST, WILMINGTON, NC

## OWNER



### HOURGLASS STUDIOS, LLS

Trent Harrison  
Owner/Operator  
336.831.3656  
trent@hourglassstudios.com  
www.hourglassstudios.com

## ARCHITECT



### KERSTING ARCHITECTURE

Toby R Keeton  
Project Architect  
910.763.1348  
toby@kerstingarchitecture.com  
www.kerstingarchitecture.com

## GENERAL CONTRACTOR



### MONTEITH CONSTRUCTION CORPORATION

Mike Doyle  
Preconstruction Manager  
910.791.8101  
mdoyle@monteithco.com  
monteithco.com

## CONSULTANTS

### STRUCTURAL

Woods Engineering, PA  
Adam Sisk, PE, SE  
Principal  
910.343.8007  
adam@woodseng.com  
www.woodseng.com

### MPE

David Sims & Associates  
Christopher M. Lippincott, PE/ Dave Falcinelli, PE  
910.791.8016  
chris@dsaeng.com/ davef@dsaeng.com

### RECORDING STUDIOS

Studio Construction Service, Inc.  
Mark Wenner  
CEO  
615.298.2823  
mark@studioconstruction.com  
www.studioconstruction.com

### PERFORMANCE

JSX Audio  
Jerry Steckling  
707.280.2146  
cto@jsxaudio.com  
www.jsxaudio.com

## REVIEW DOCUMENT REVISION SET

ISSUED - 04/27/20

(RENDERINGS FOR ILLUSTRATIVE PURPOSES ONLY)



VIEW FROM SURRY ST



VIEW FROM SURRY ST

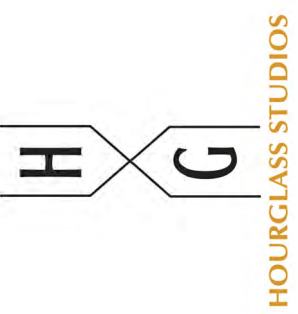
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RELEASE DATE: 12.16.19

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STUDIOS  
612 S FRONT ST,  
WILMINGTON, NC

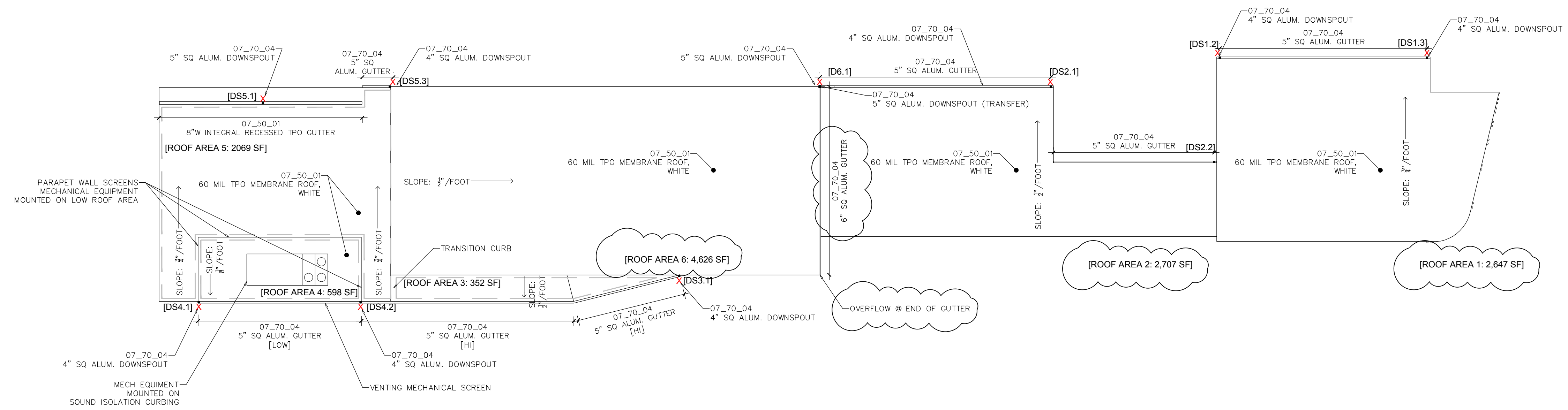


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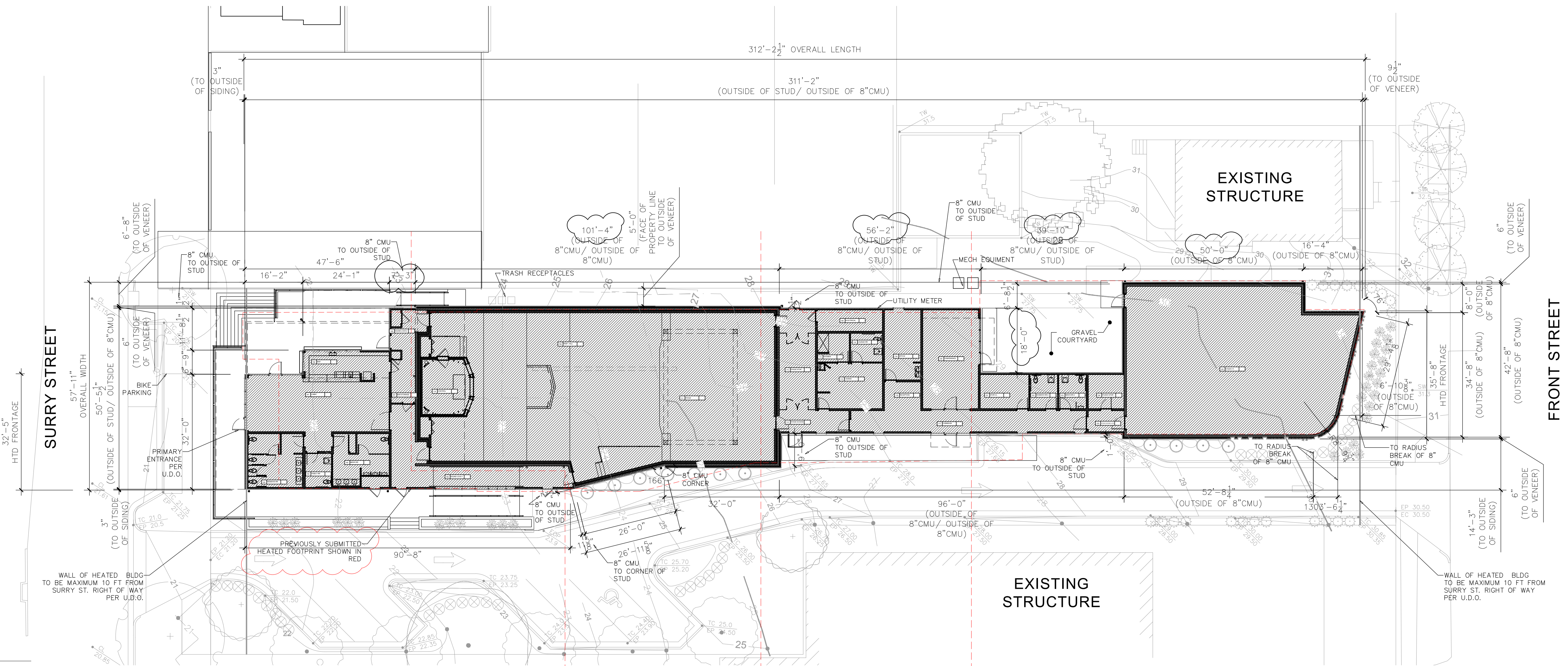
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COVER



**KEY ROOF PLAN**  
SCALE: 1/16" = 1'-0"



**KEY FLOOR/ ARCH. SITE PLAN**  
SCALE: 1/16" = 1'-0"

**SHEET NOTES**

- TOPOGRAPHY & SITE ELEMENTS SHOWN ARE FOR COORDINATION/ ILLUSTRATION PURPOSES ONLY. SEE CIVIL ENGINEER'S DRAWINGS FOR GRADING AND OTHER DETAILS.
- GC RESPONSIBLE FOR CONFIRMING EXISTING CONDITIONS & THEIR CONFORMING RELATIONSHIP TO PROPERTY LINES PER ZONING AND OTHER RESTRICTIONS. ARCHITECT & CIVIL ENGINEER TO BE ALERTED IN THE EVENT OF DISCREPANCIES. REFER TO OWNER PROVIDED SURVEY/ CIVIL DRAWINGS FOR THE EXACT LOCATIONS OF PROPERTY LINES, LOCATIONS OF BUILDINGS, DRIVEWAYS, CURBS, PARKING LOTS, AND SIDEWALKS. SEE CIVIL ENGINEER'S DRAWINGS FOR DETAILS REGARDING SITE HARDSCAPES AND LANDSCAPING.
- SEE CIVIL ENGINEER'S DRAWINGS FOR CONTINUATION OF DOWNSPOUTS AND OTHER STORM WATER MANAGEMENT DETAILS.
- SEE CIVIL ENGINEER'S DRAWINGS FOR INFORMATION REGARDING DEMOLITION OF EXISTING CONDITIONS.
- ROOFING SHALL BE INSTALLED TO WITHSTAND THE WIND PRESSURES DETERMINED IN ACCORDANCE WITH ASCE 7. ROOF ASSEMBLIES TO CONFORM TO NC BUILDING CODE WIND RESISTANCE REQMNTS

DRAWING SET:  
DD SET  
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SHEET REVISED:  
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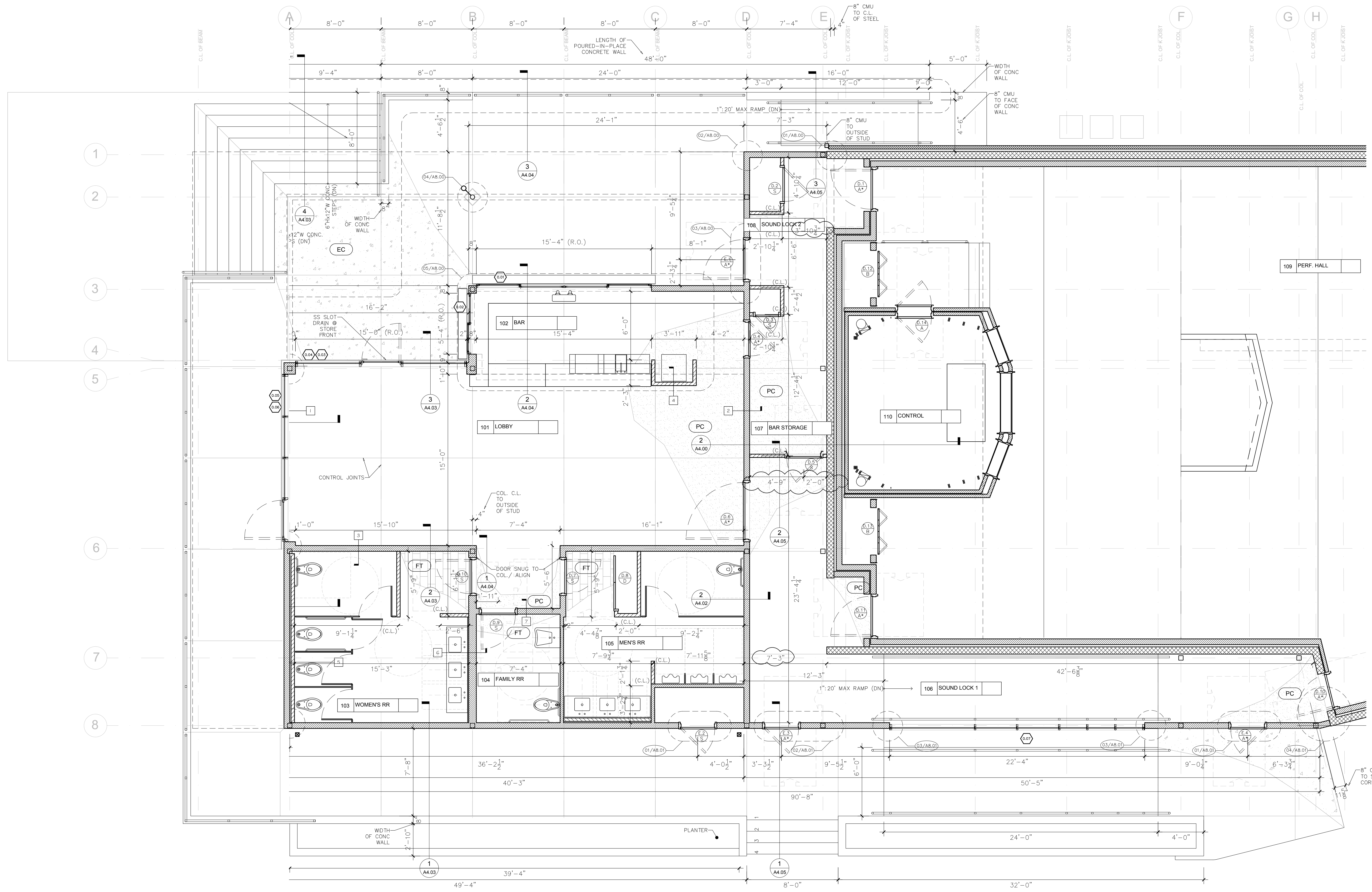


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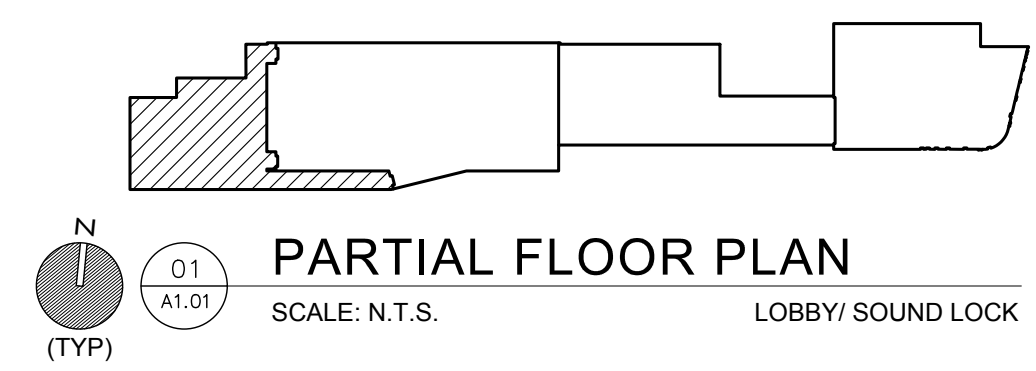
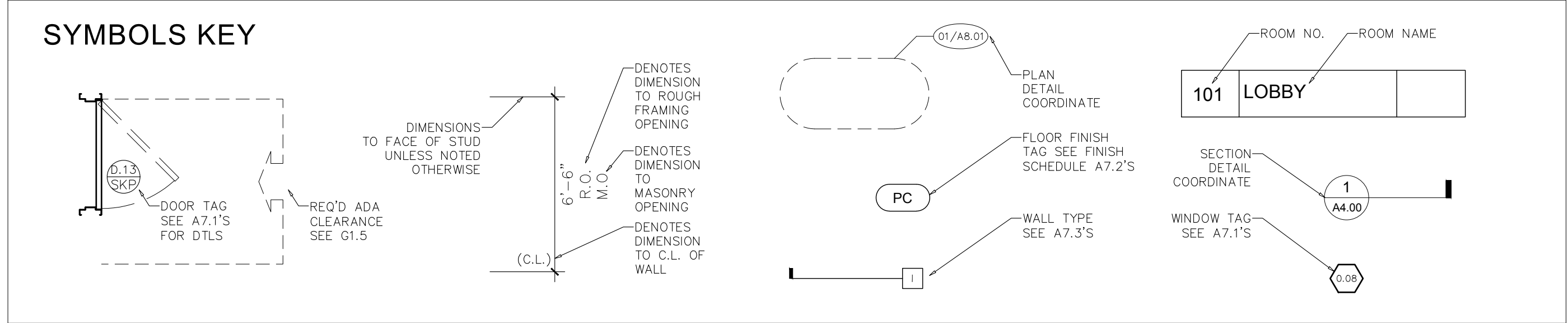


**KEY PLAN/ SITE PLAN**  
**A1.00**



PLAN

3"



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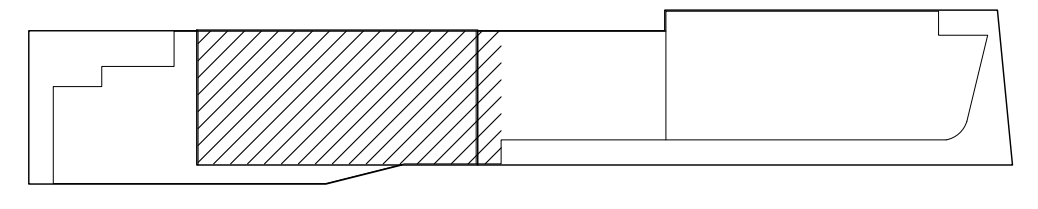
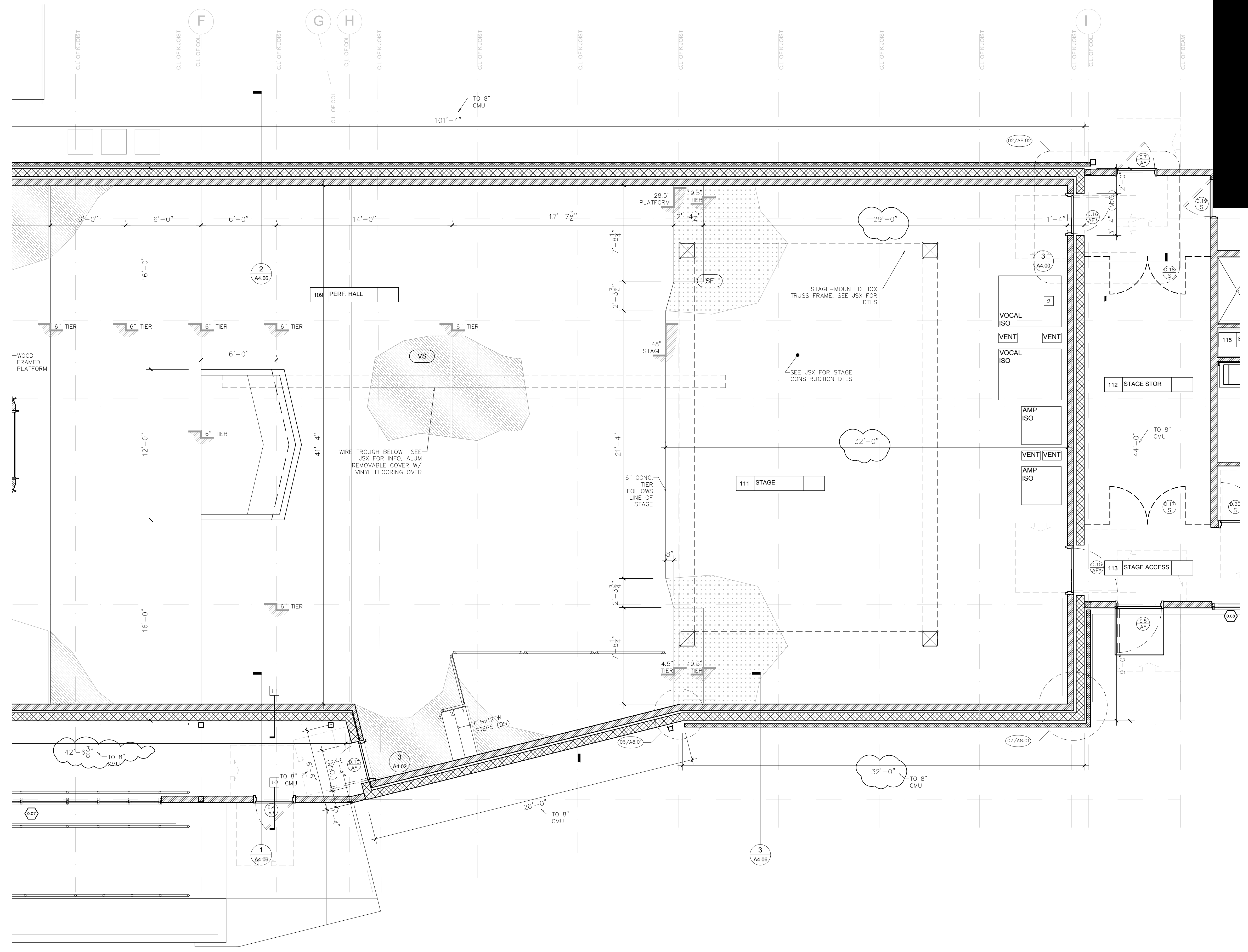
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FLOOR  
 PLAN  
 A1.01

1  
2  
3  
4  
5  
6  
7  
8



02 A1.02 PARTIAL FLOOR PLAN  
SCALE: 1/4" = 1'-0"  
PERFORMANCE

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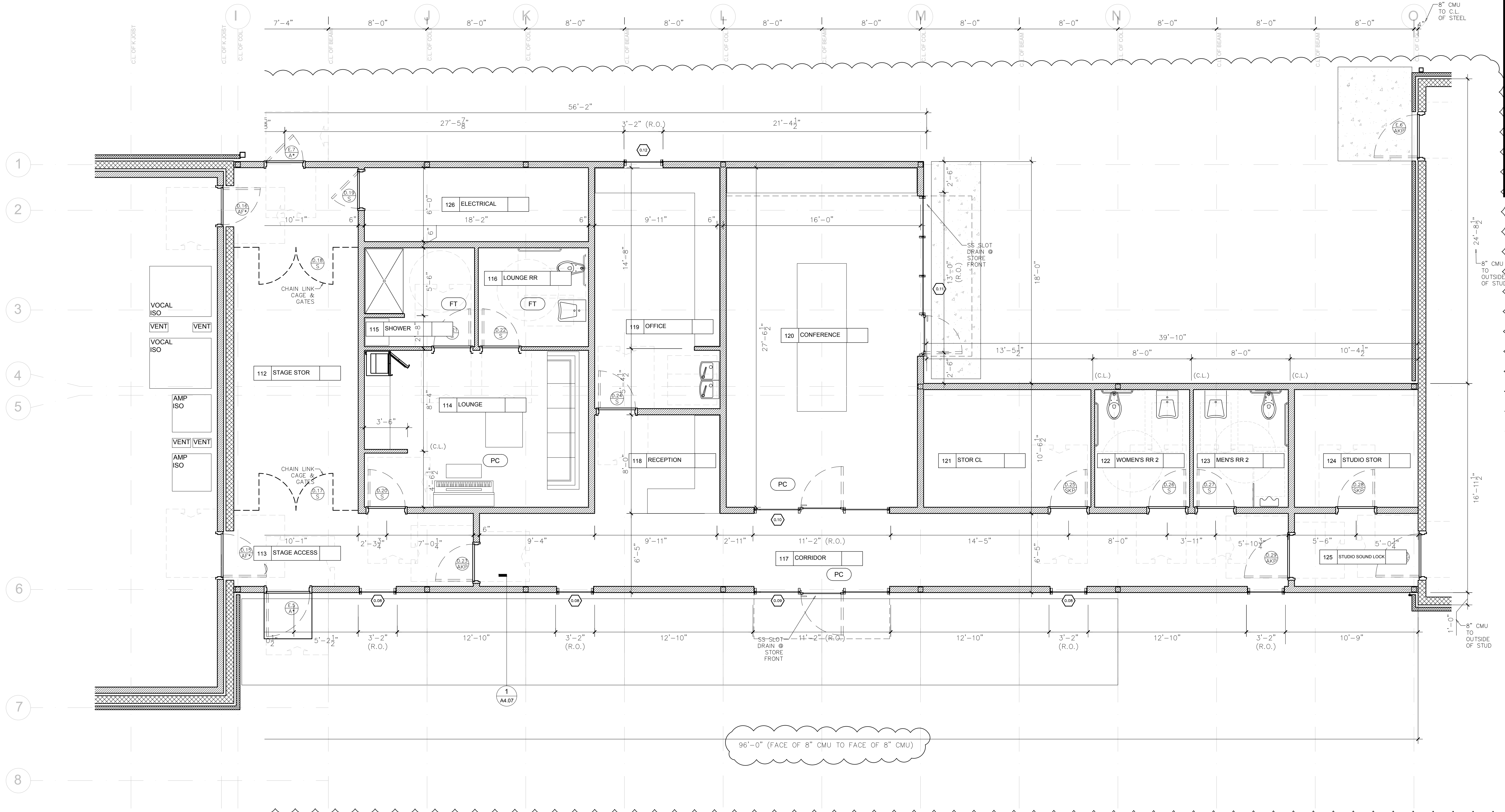
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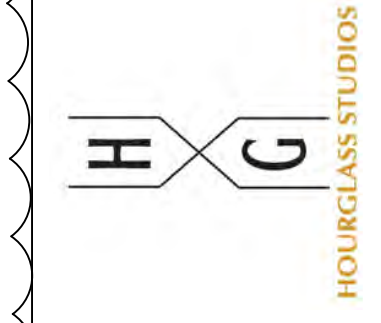
FLOOR  
PLAN

A1.02



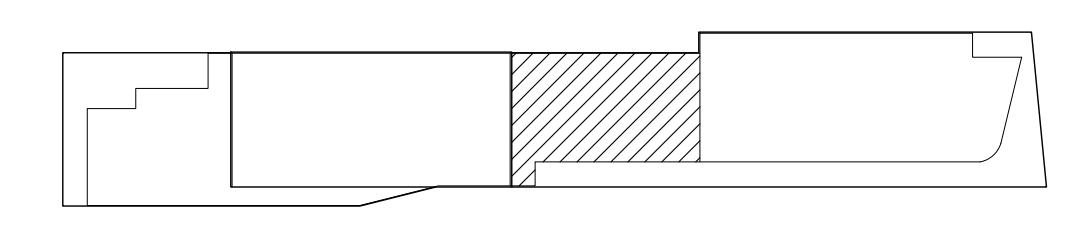
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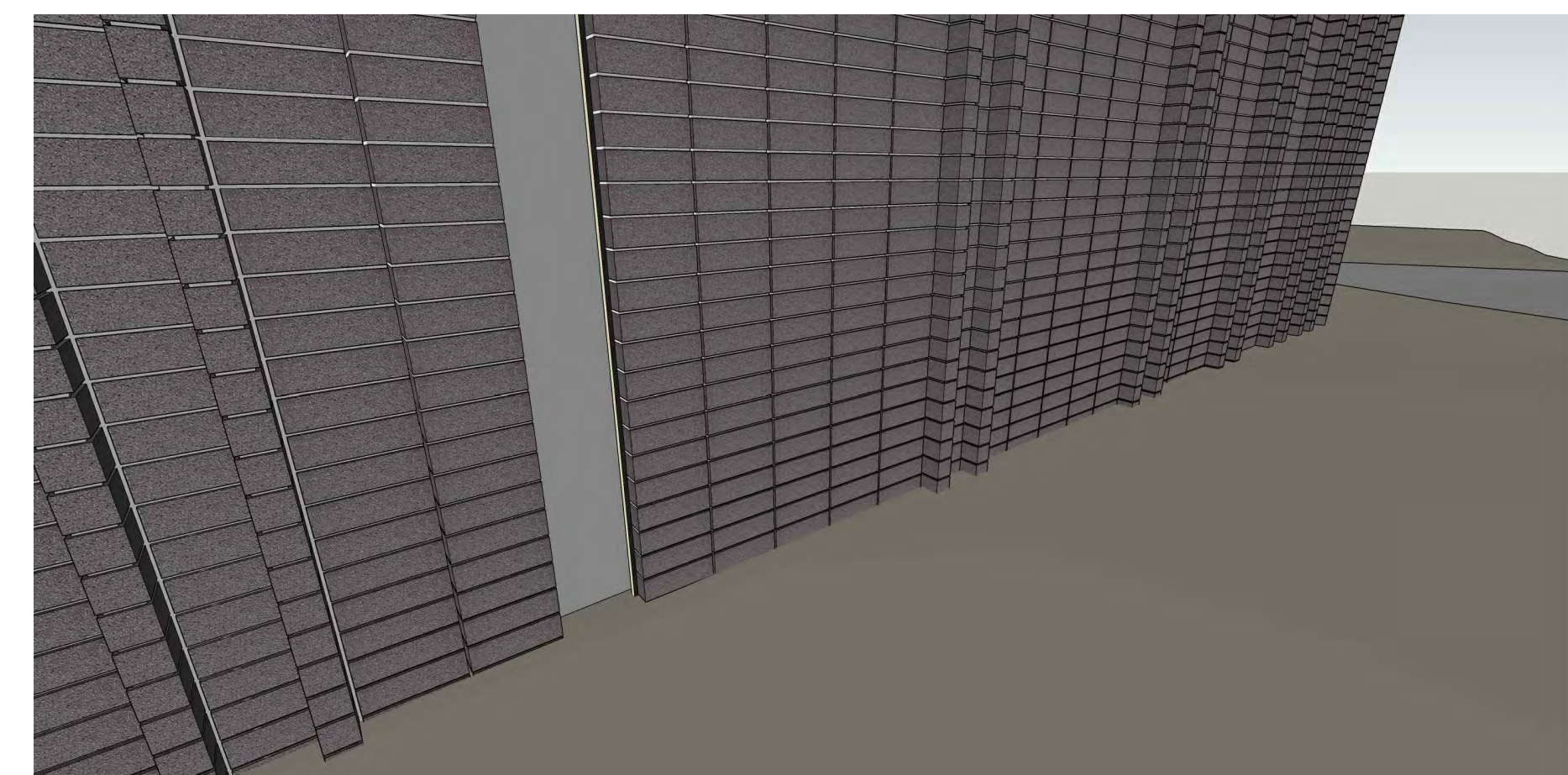
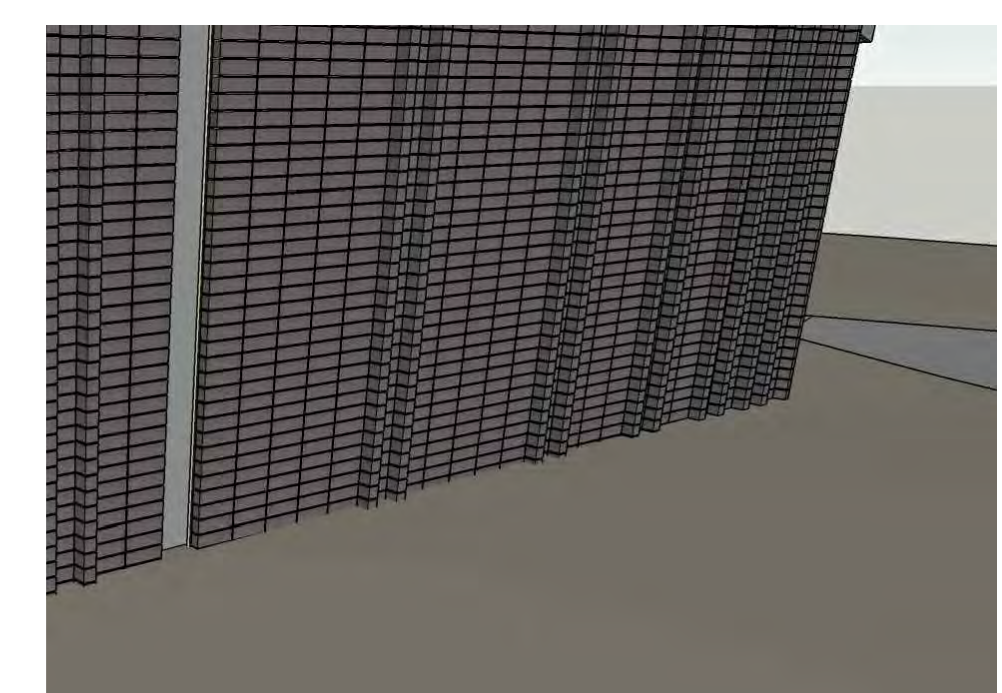
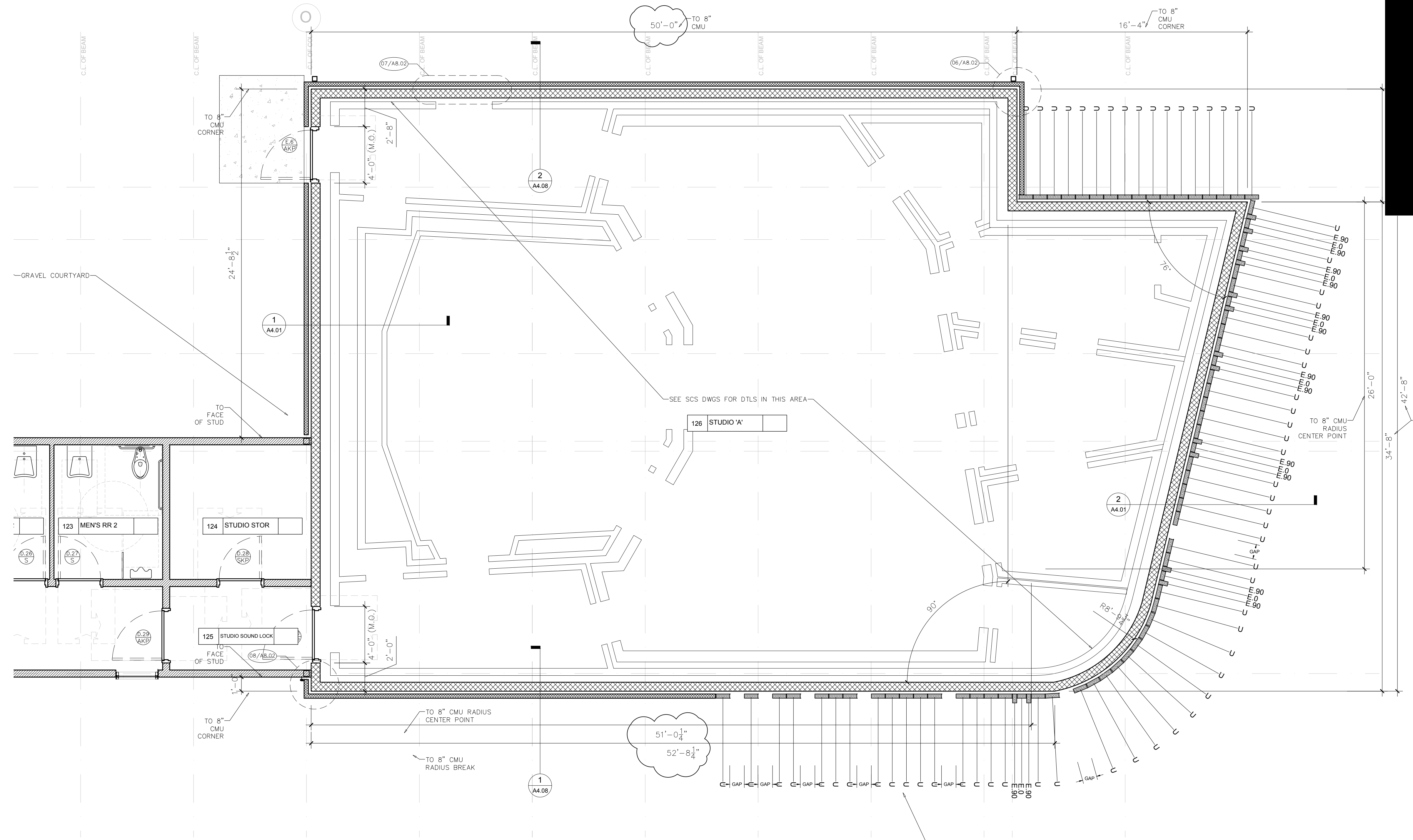
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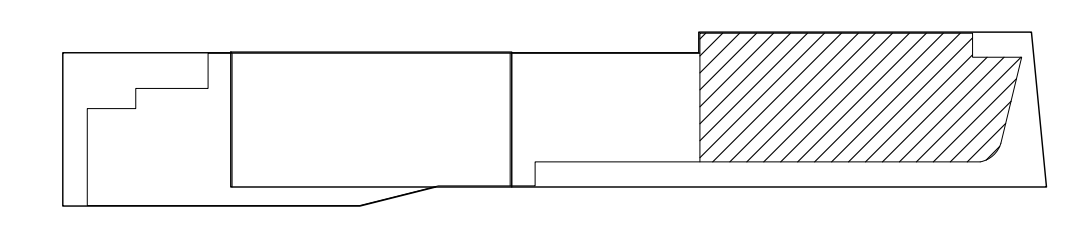
**PARTIAL FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"  
 BUSINESS

FLOOR  
 PLAN  
**A1.03**



**MASONRY VENEER 3D VIEW**  
FOR ILLUSTRATION PURPOSES ONLY

CLAY MASONRY VENEER UNIT PATTERNING KEY:  
 "U" = UTILITY SIZE UNIT (3-5/8" X 3-5/8" X 11-5/8"), NORMAL TO STRUCTURAL WALL  
 "E.0" = MODULAR ECONOMO UNIT (3-5/8" X 3-5/8" X 7-5/8"), NORMAL TO STRUCTURAL WALL  
 "E.90" = MODULAR ECONOMO UNIT (3-5/8" X 3-5/8" X 7-5/8"), PERPENDICULAR TO STRUCTURAL WALL  
 "GAP" = 1'-0 3/8" VOID IN MASONRY (FILLED W/ ALUMINUM PAN/ INTEGRAL LIGHTING)  
 STACK BOND, STANDARD CONCAVE JOINT, TYP



**PARTIAL FLOOR PLAN**  
SCALE: 1/4" = 1'-0" STUDIO

DRAWING SET:  
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**STUDIOS**  
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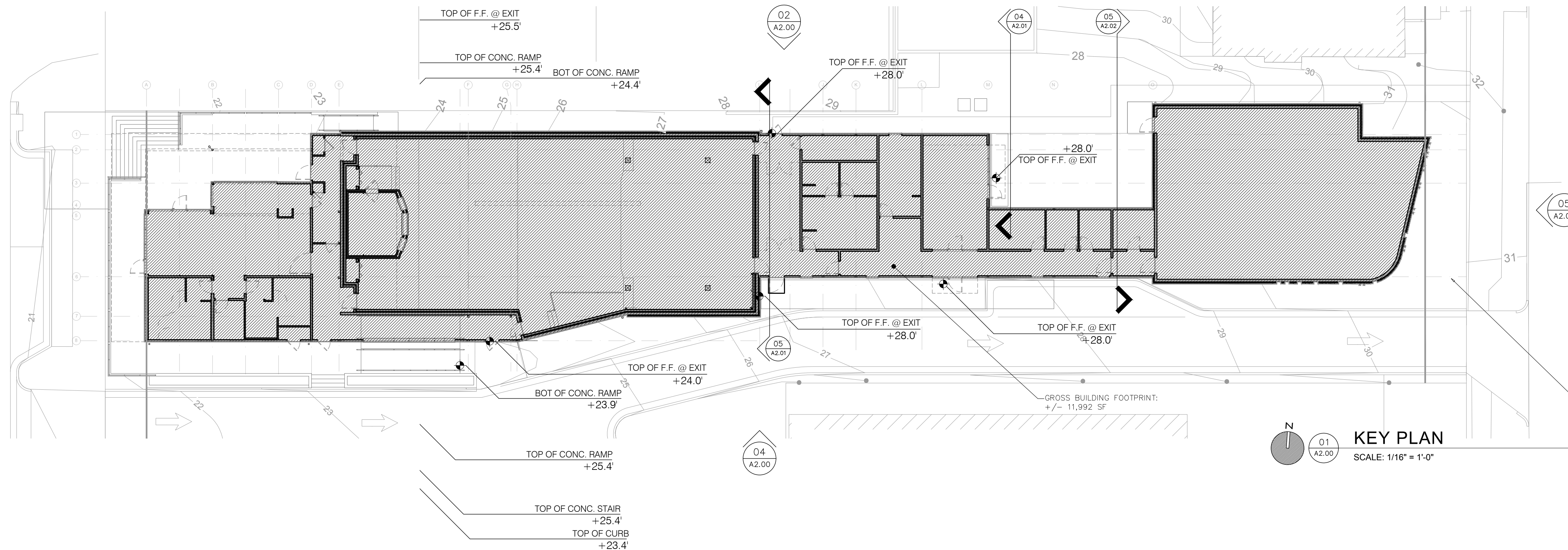
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FLOOR  
PLAN

**A1.04**



**GENERAL NOTES**

1. TOPOGRAPHY & SITE ELEMENTS SHOWN ARE FOR COORDINATION/ ILLUSTRATION PURPOSES ONLY. SEE CIVIL ENGINEER'S DRAWINGS FOR DETAILS.
2. ELEVATIONS NOTED ARE FEET ABOVE MEAN SEA LEVEL UNLESS NOTED OTHERWISE, AND REFER TO SURVEY PROVIDED BY THE OWNER FROM POLARIS SURVEYING, PLLC, DATED 1/26/17.
3. GC RESPONSIBLE FOR CONFIRMING EXISTING CONDITIONS. ARCHITECT & CIVIL ENGINEER TO BE ALERTED IN THE EVENT OF DISCREPANCY.

**BUILDING ATTACHED SIGNAGE AREA**

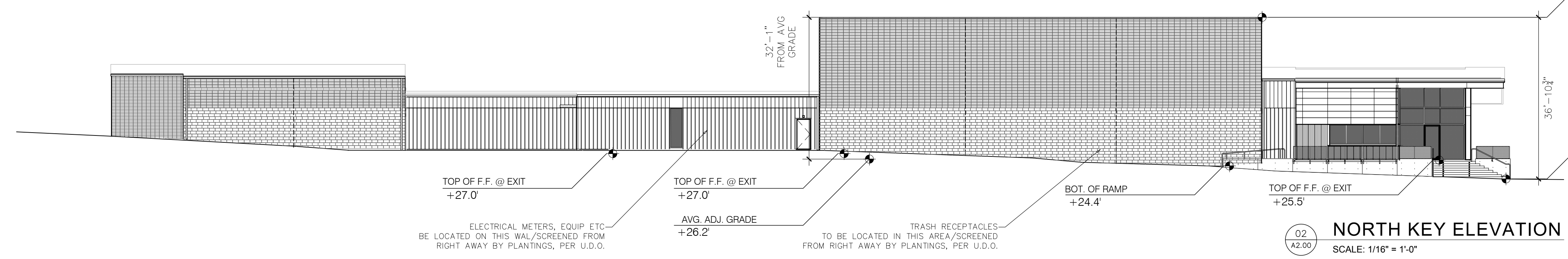
EAST FACADE:	19 SF
SOUTH FACADE:	155 SF
WEST FACADE:	26 SF
NORTH FACADE:	0 SF
<b>TOTAL:</b>	<b>200 SF</b>

FREESTANDING DOUBLE-SIDED OUTDOOR READERBOARD - ILLUMINATED FROM INTERIOR (85 1/4" W X 13 1/2" D X 60" H)

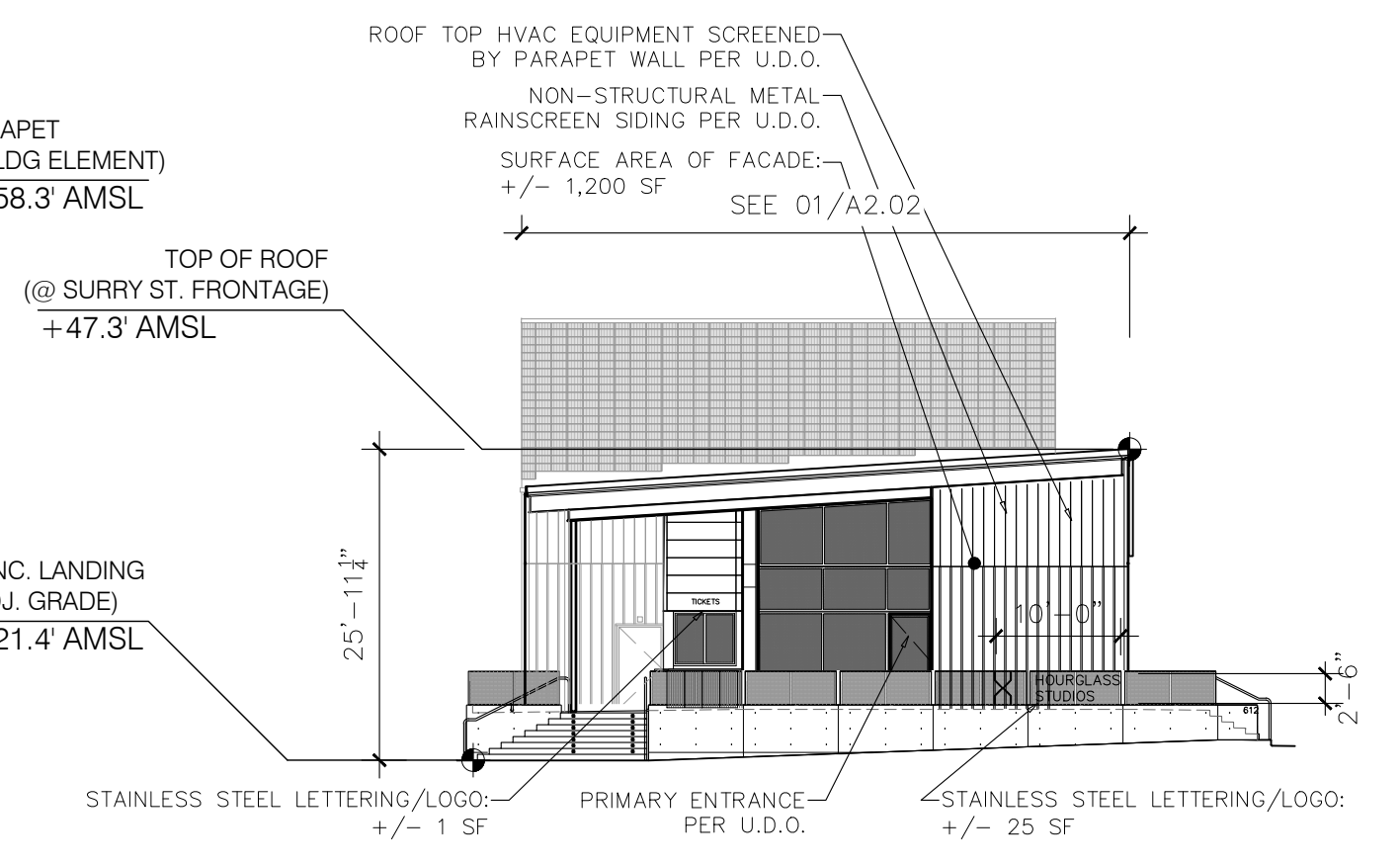
**KEY PLAN**  
SCALE: 1/16" = 1'-0"

SEE 01/A2.01

SEE 02/A2.01



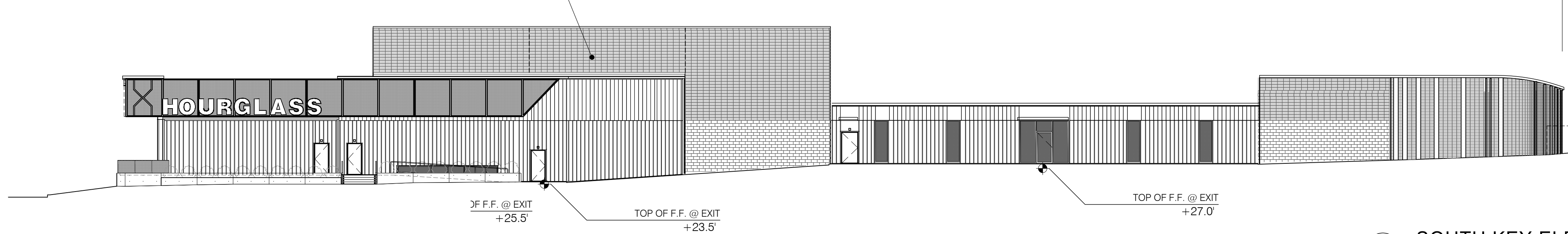
**NORTH KEY ELEVATION**  
SCALE: 1/16" = 1'-0"



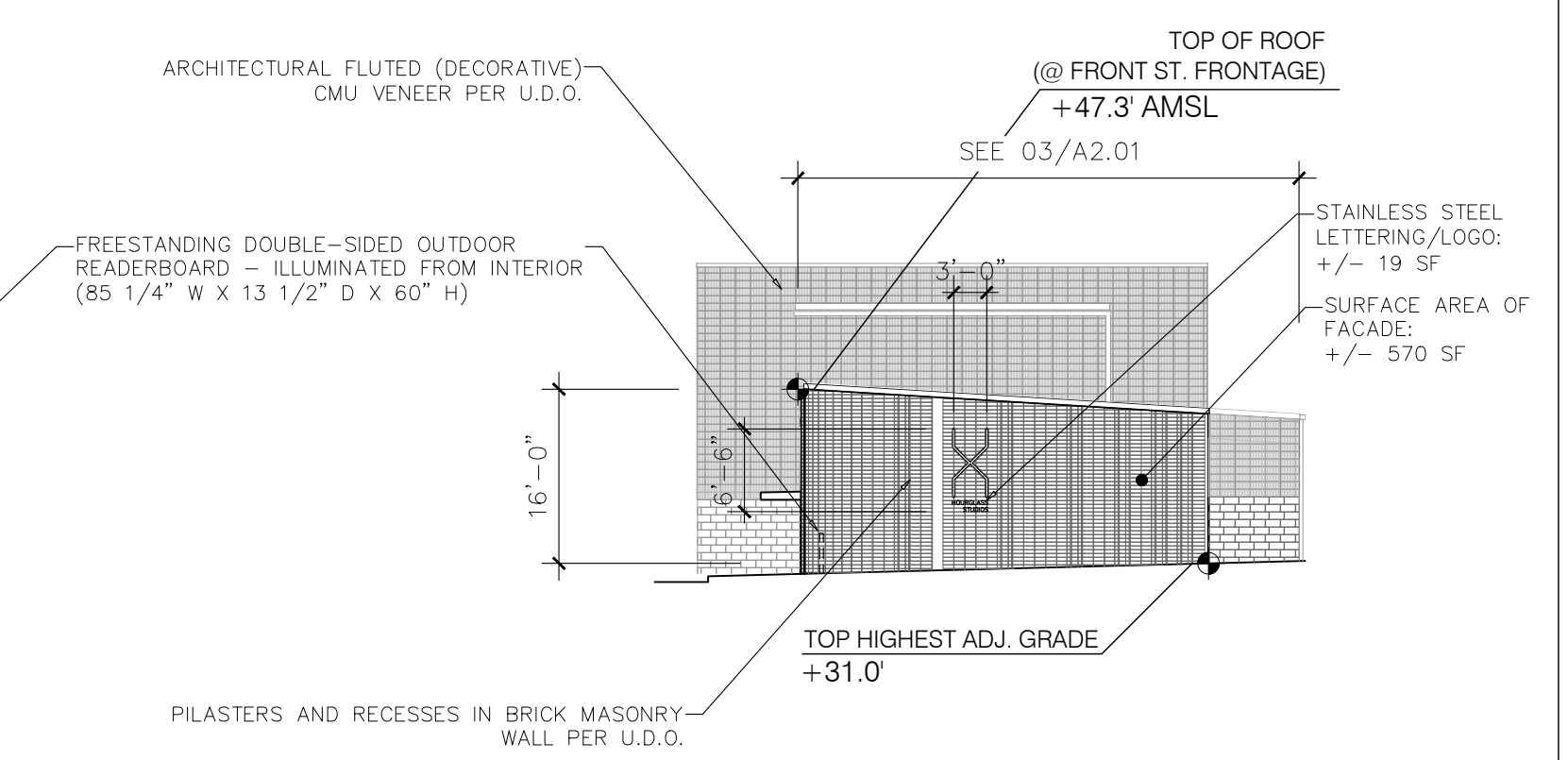
**WEST KEY ELEVATION**  
SCALE: 1/16" = 1'-0"  
(FACING SURRY ST)

3/A2.02

SEE 04/A2.02



**SOUTH KEY ELEVATION**  
SCALE: 1/16" = 1'-0"



**EAST KEY ELEVATION**  
SCALE: 1/16" = 1'-0"  
(FACING FRONT ST)

DD SET (NOT FOR CONSTRUCTION)  
RELEASE DATE: 12.16.19  
SHEET REVISED: 04.27.20

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**HOURGLASS STUDIOS**  
612 S FRONT ST.  
WILMINGTON, NC



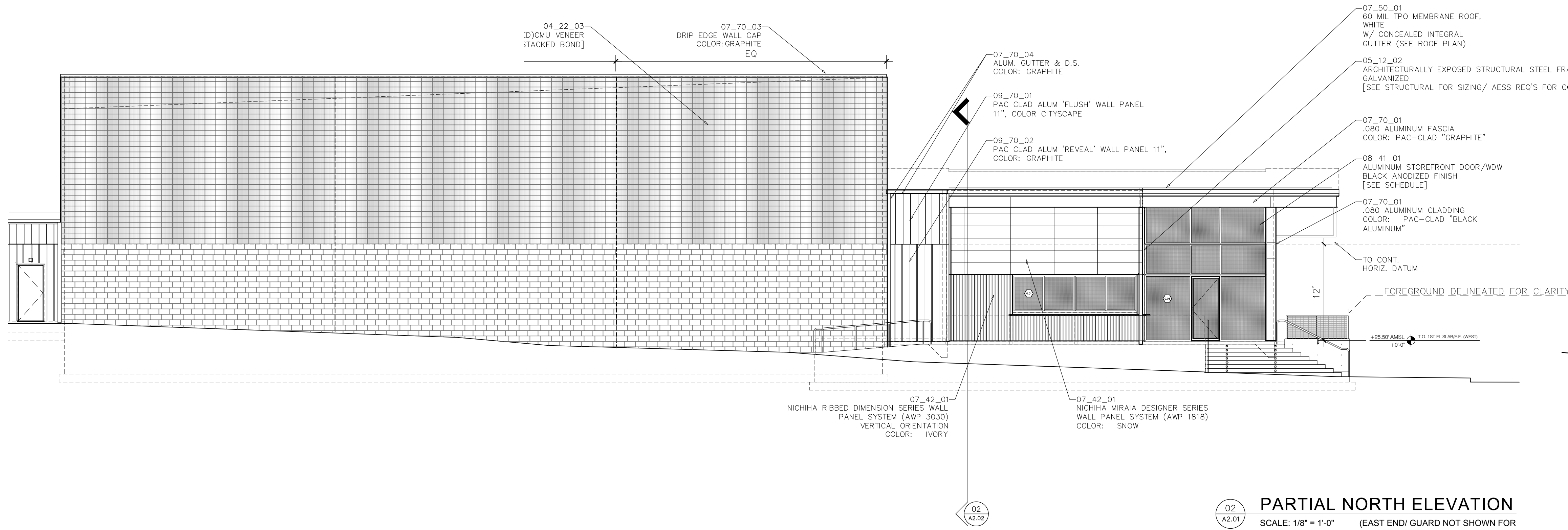
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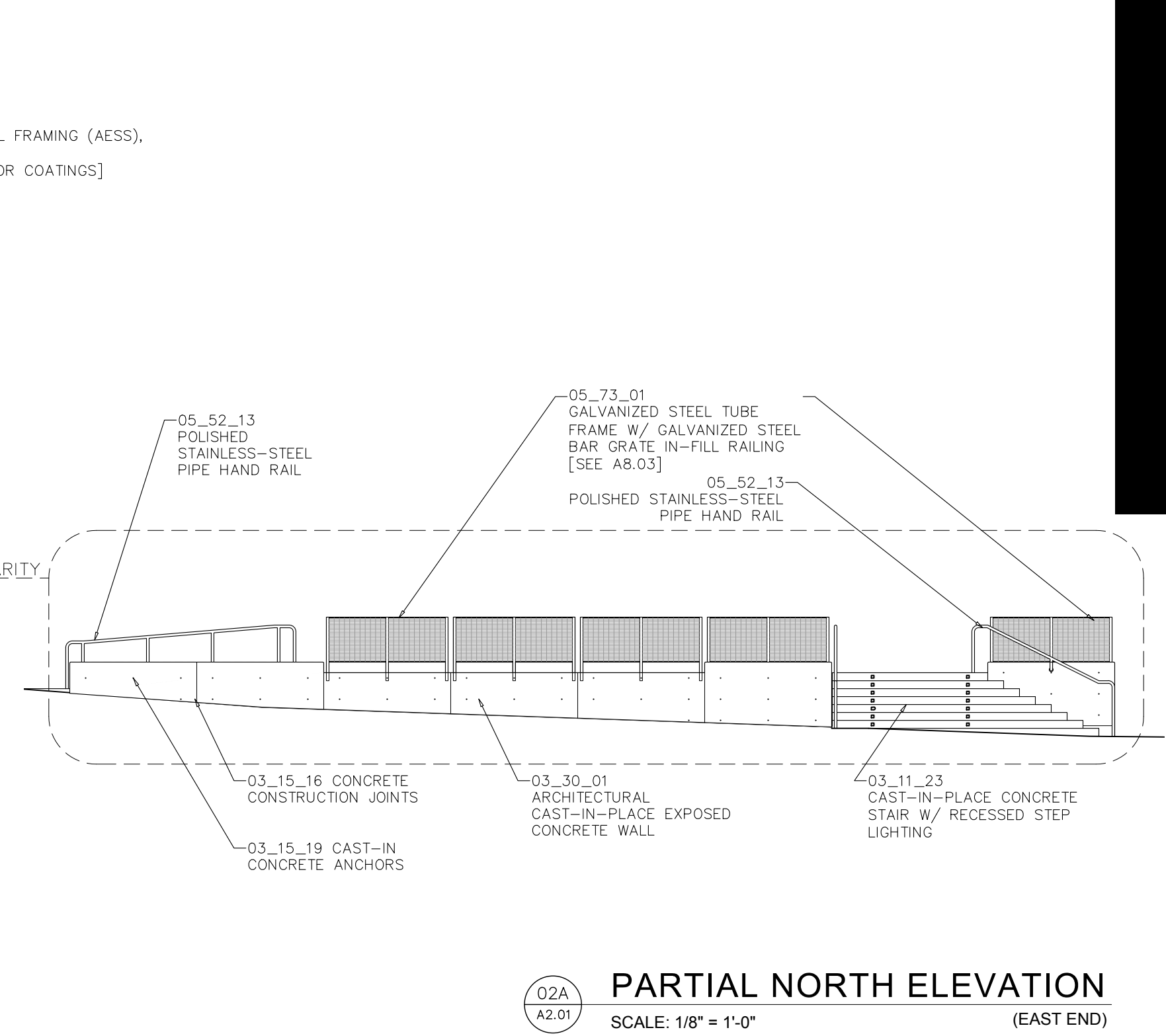


KEY ELEVATIONS  
**A2.00**

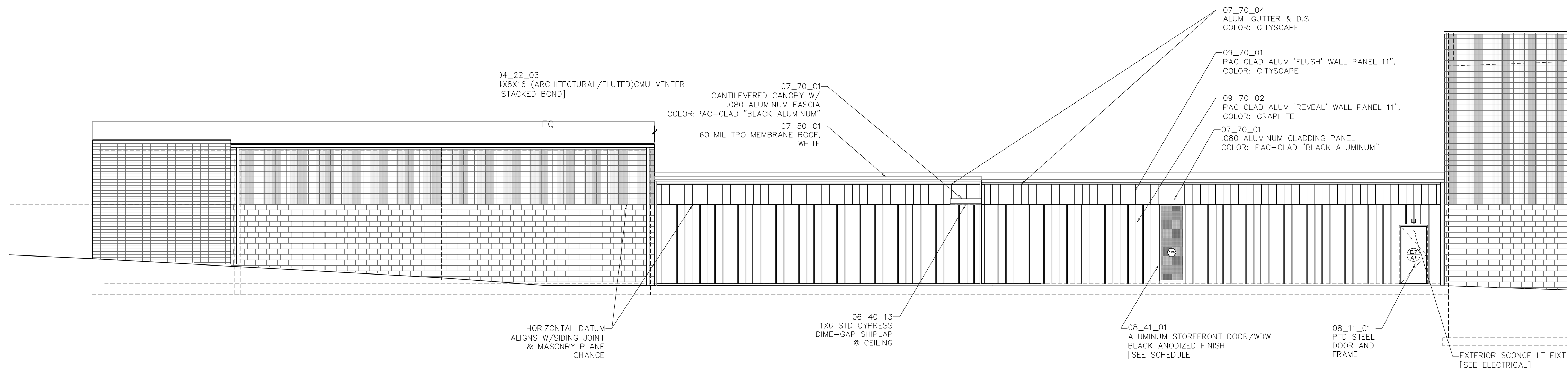




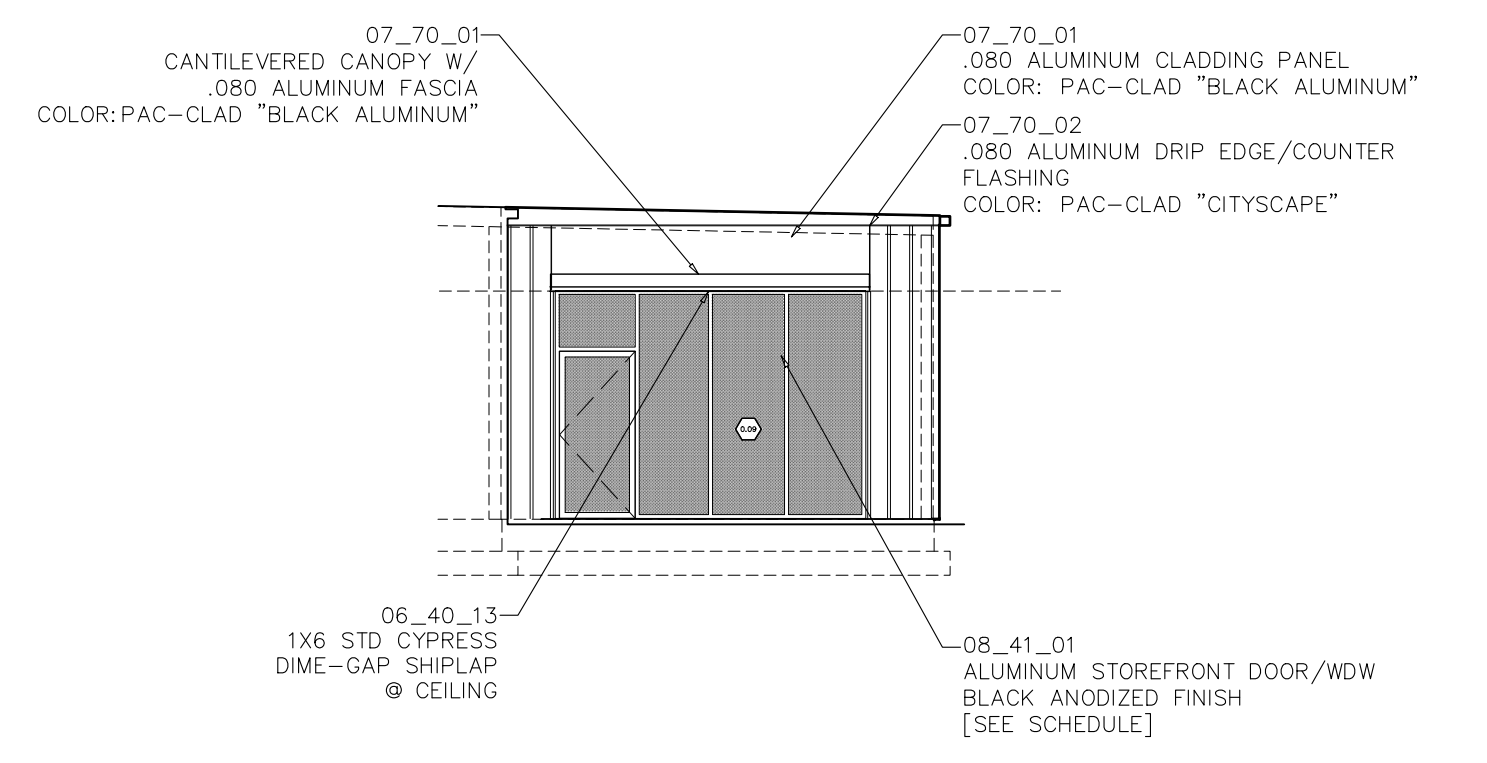
**02 PARTIAL NORTH ELEVATION**  
SCALE: 1/8" = 1'-0" (EAST END/ GUARD NOT SHOWN FOR CLARITY - SEE 02A)



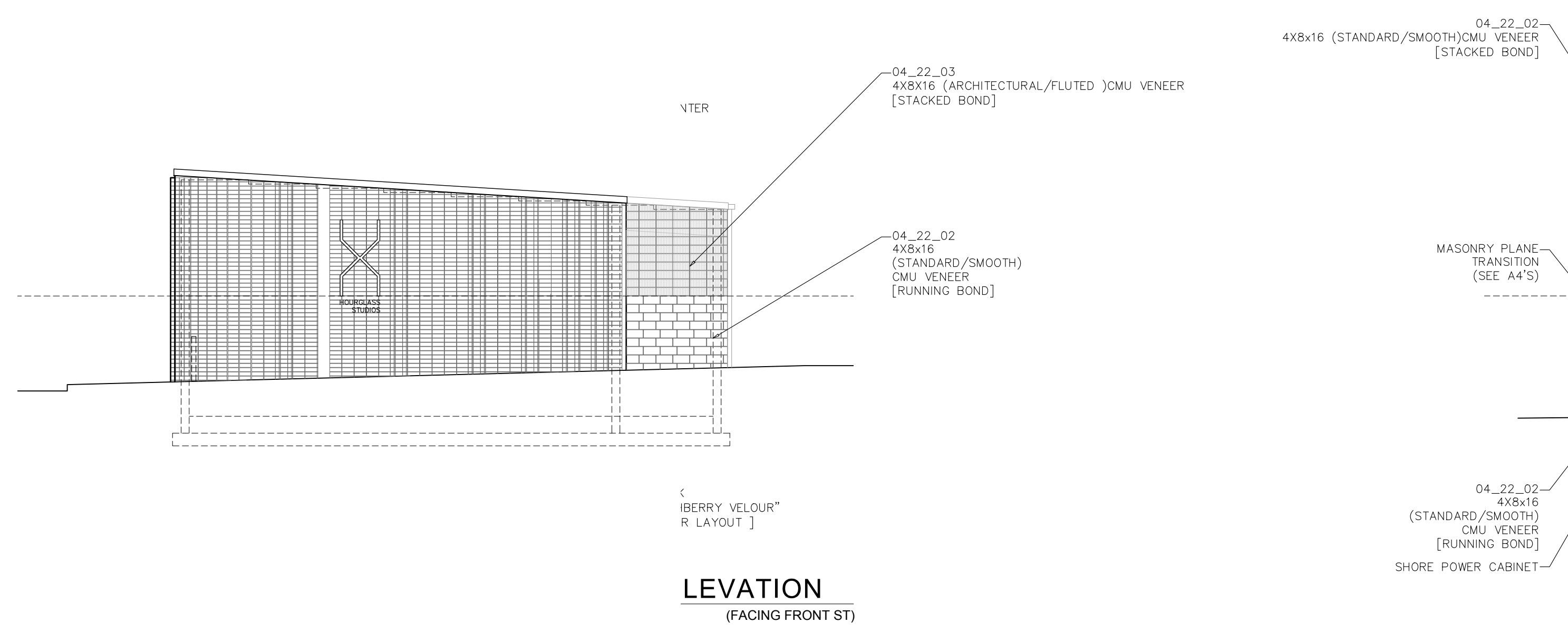
**02A PARTIAL NORTH ELEVATION**  
SCALE: 1/8" = 1'-0" (EAST END)



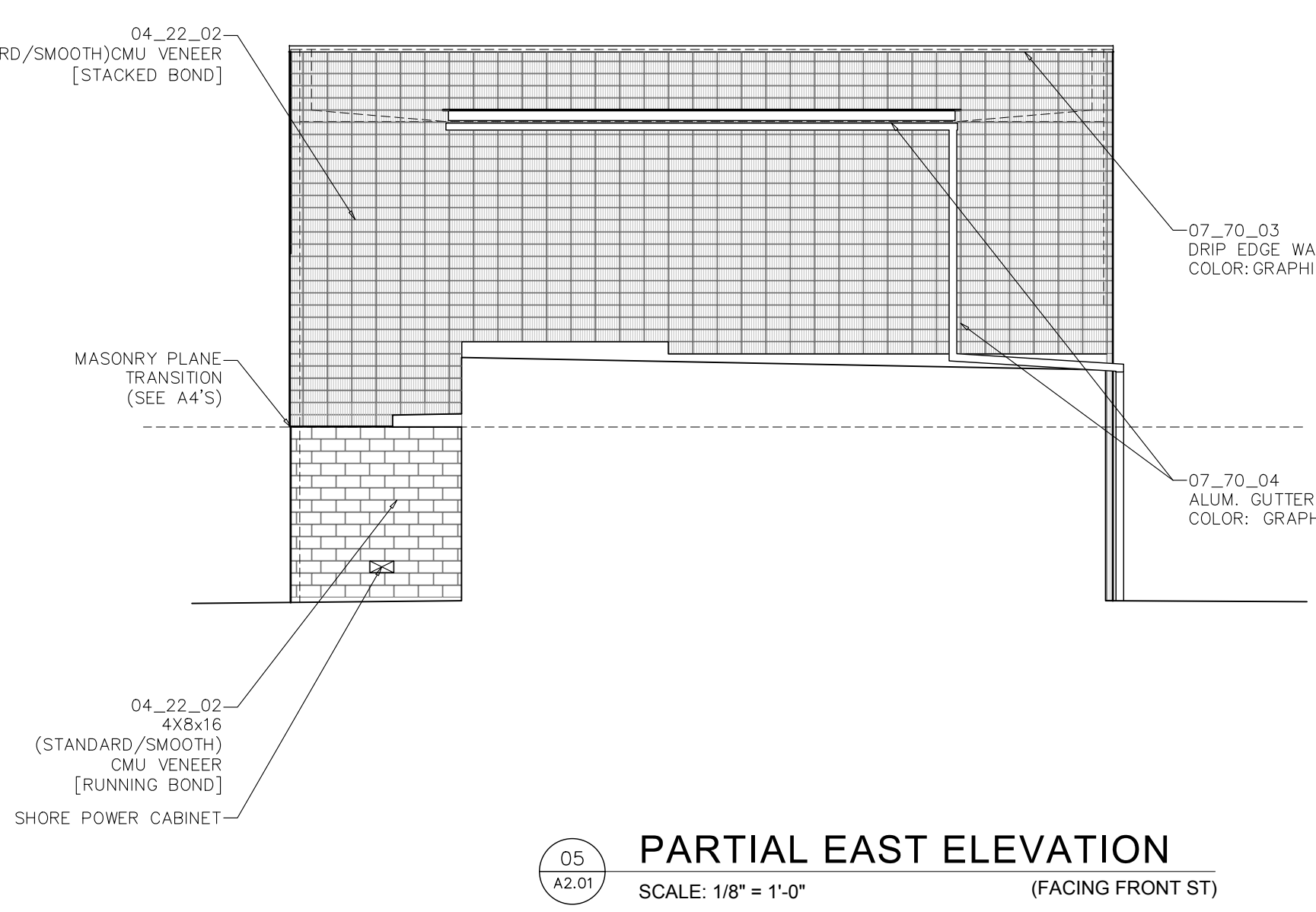
**01 PARTIAL NORTH ELEVATION**  
SCALE: 1/8" = 1'-0" (WEST END)



**04 PARTIAL EAST ELEVATION**  
SCALE: 1/8" = 1'-0" (FACING FRONT ST)



**ELEVATION**  
(FACING FRONT ST)



**05 PARTIAL EAST ELEVATION**  
SCALE: 1/8" = 1'-0" (FACING FRONT ST)

- NOTES:**
- COLOR SAMPLES FOR ALL EXTERIOR MATERIALS TO BE PROVIDED TO ARCHITECT & OWNER FOR APPROVAL PRIOR TO ORDERING.
  - PAC CLAD FLUSH REVEAL SIDING TO BE .040" MIN. ALUMINUM. SIDING FASTENING SCHEDULE PER MANUF. RECOMMENDATIONS. SIDING SHALL BE DESIGNED TO WITHSTAND THE WIND PRESSURES DETERMINED IN ACCORDANCE WITH ASCE 7. SIDING ASSEMBLIES TO CONFORM TO NC BUILDING CODE WIND RESISTANCE REQMNTS. ALL FLASHING AND TRIM SHALL BE FABRICATED BY MANUFACTURER OR QUALIFIED FABRICATOR. FLASHING SHALL BE PAC-CLAD ALUMINUM (.060 GAUGE)
  - EXPOSED STEEL ELEMENTS ARE TO BE IN ACCORDANCE WITH AISC CATEGORY 1 FOR AESTHETICALLY EXPOSED STRUCTURAL STEEL (AESS), STEEL TO BE FACTORY PRIMED, FIELD PREP'D & RECEIVE EPOXY COATING APPLIED TO THICKNESS REQUIRED FOR CORROSION RESISTANCE PER MANUF. RECOMMENDATIONS.

(NOT FOR CONSTRUCTION)  
RELEASE DATE: 12.16.19  
SHEET REVISED:  
04.27.20

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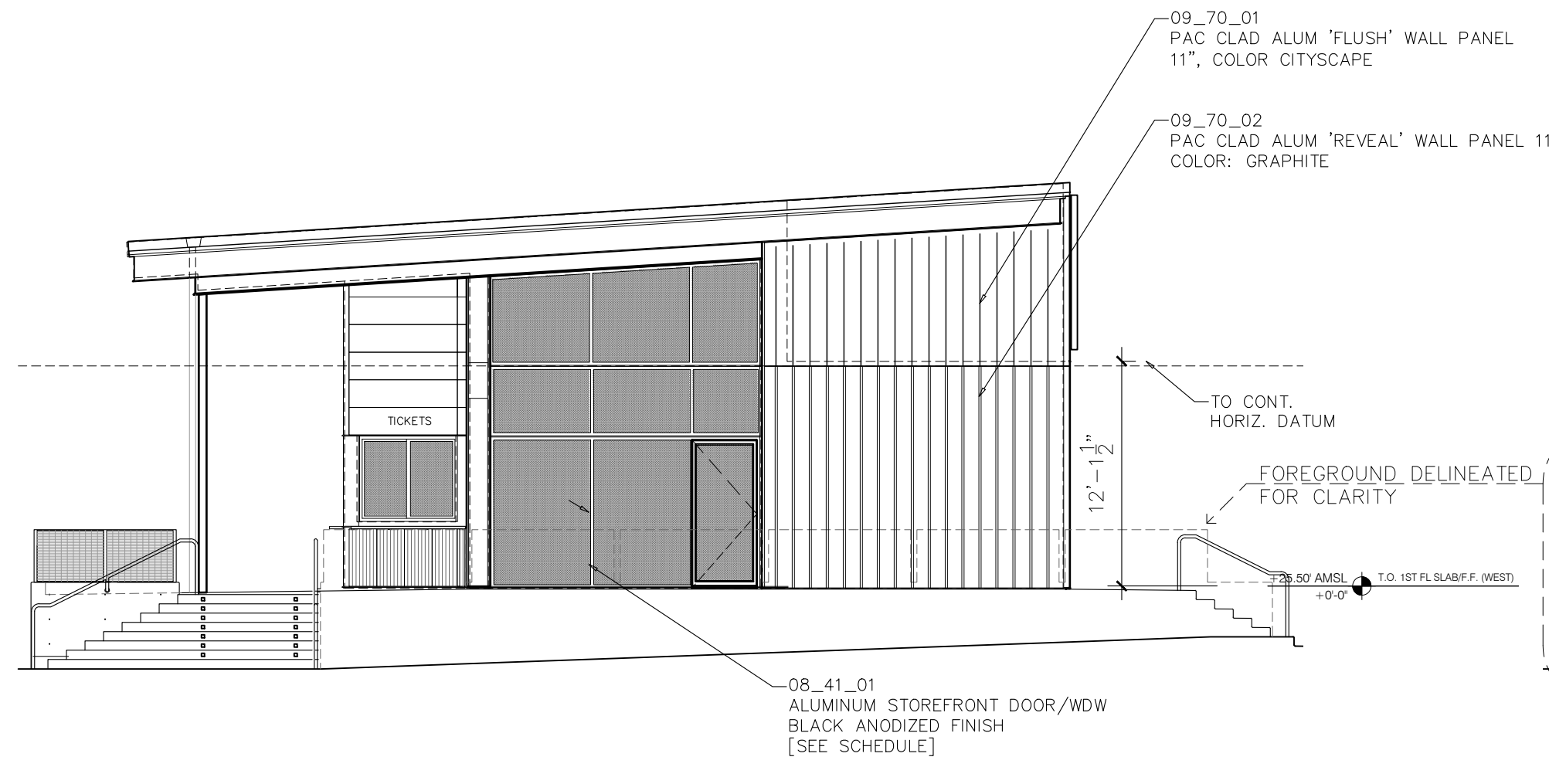


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toby@kerstingarchitecture.com  
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Wilmington, NC 28403

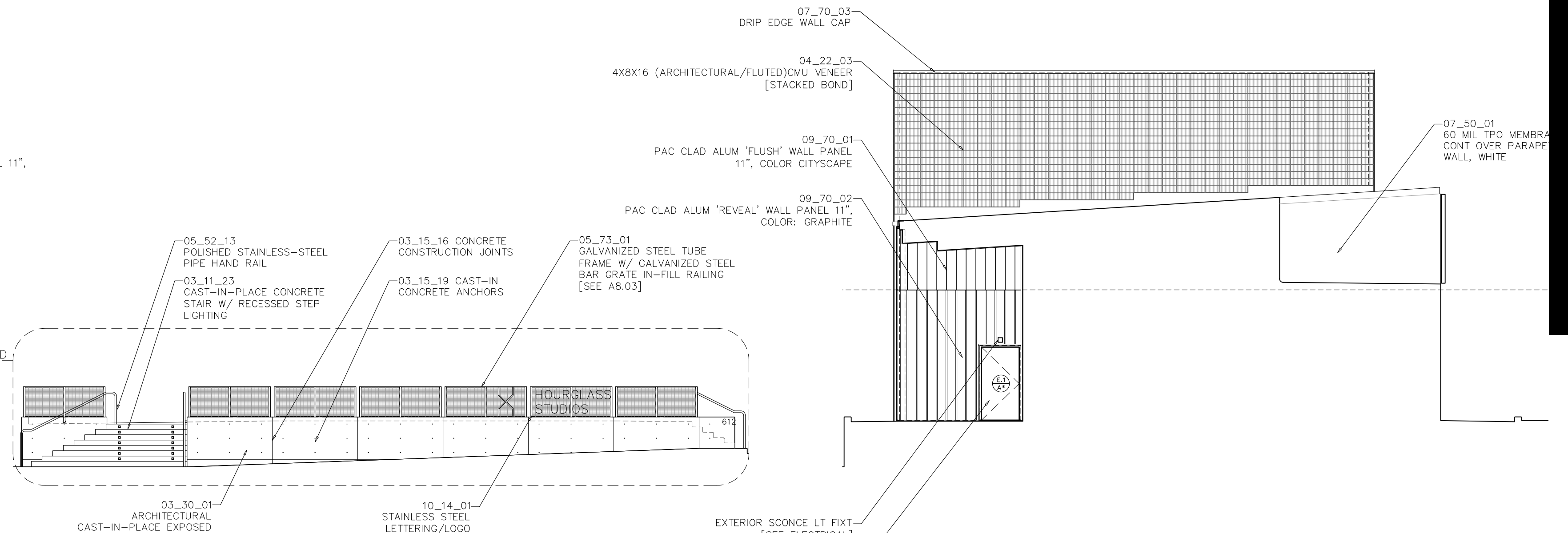
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DTL ELEVS  
A2.01

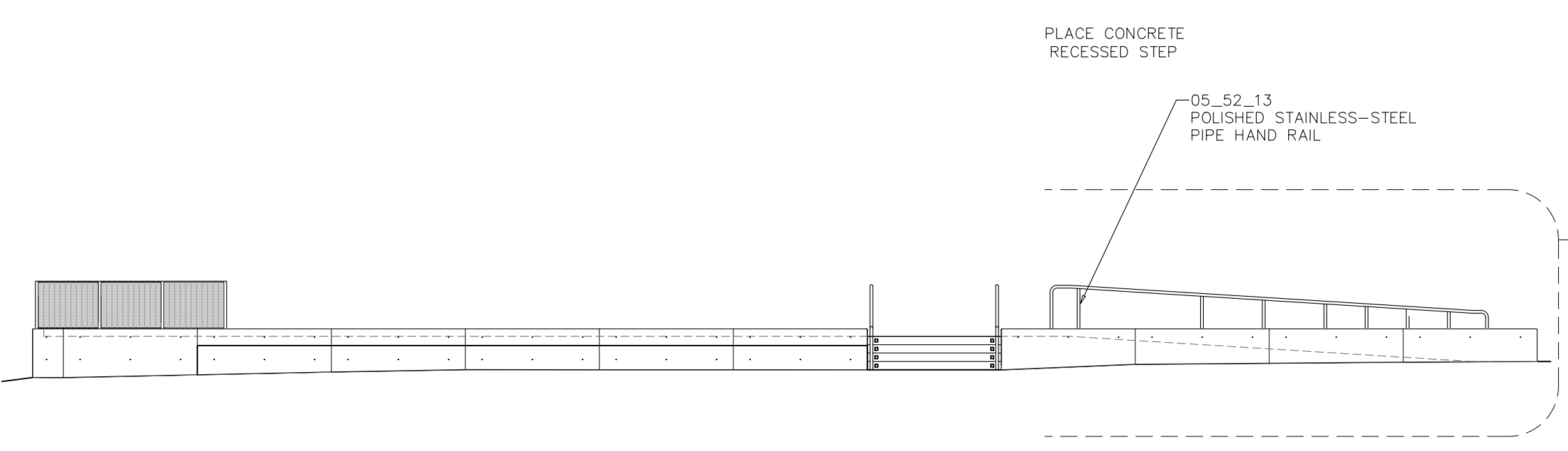


**LEVATION**  
ACING SURRY ST/ GUARD NOT SHOWN FOR CLARITY - SEE 01A

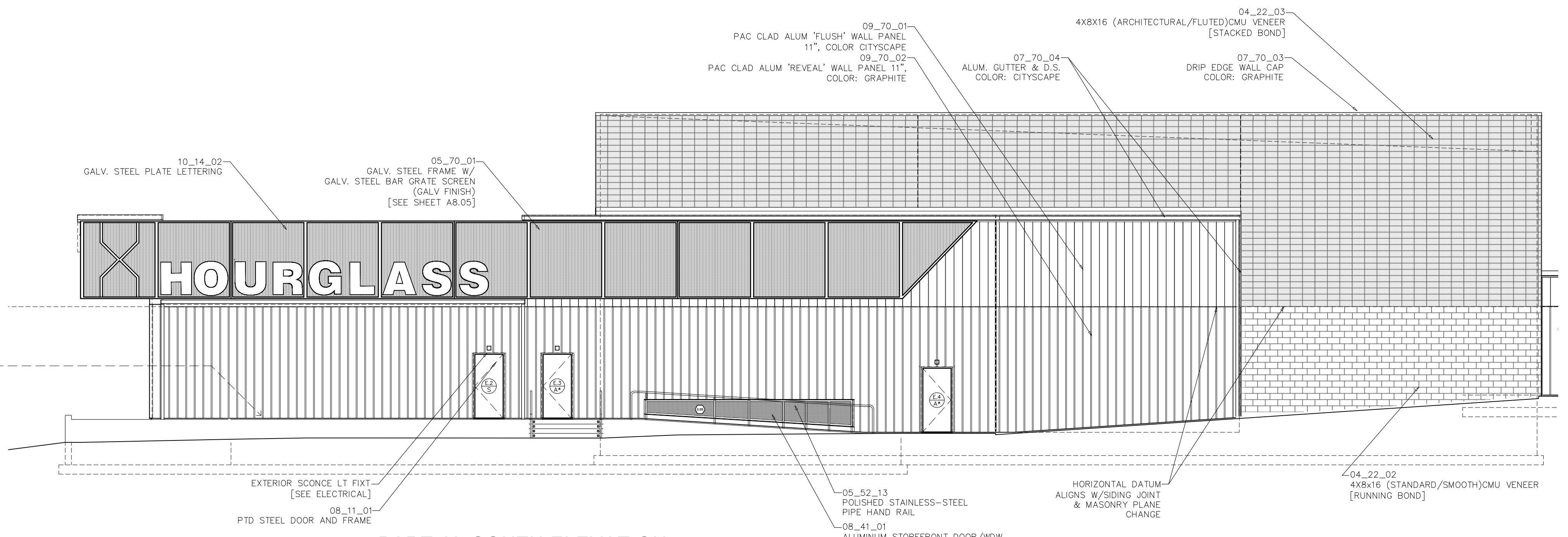


**01A PARTIAL WEST ELEVATION**  
SCALE: 1/8" = 1'-0"  
(GUARD/ WALL ONLY)

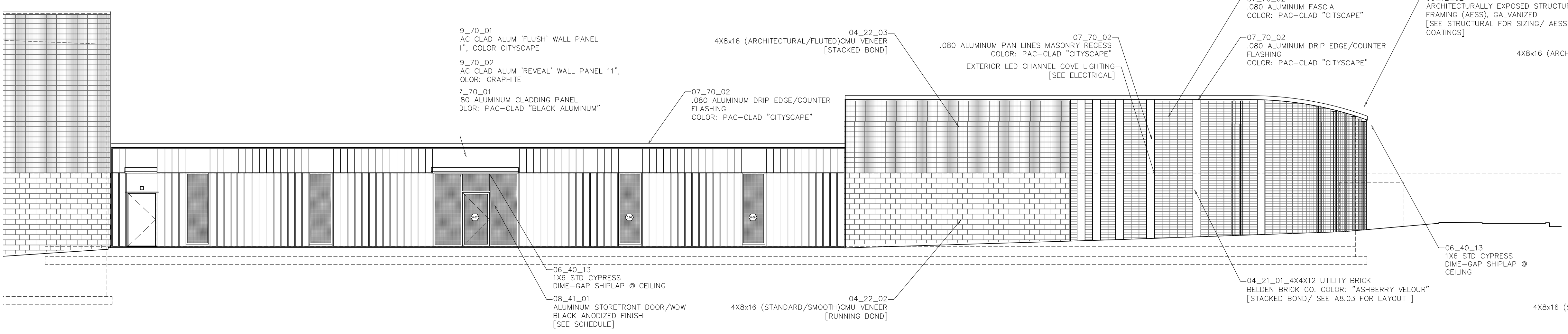
**02 PARTIAL WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



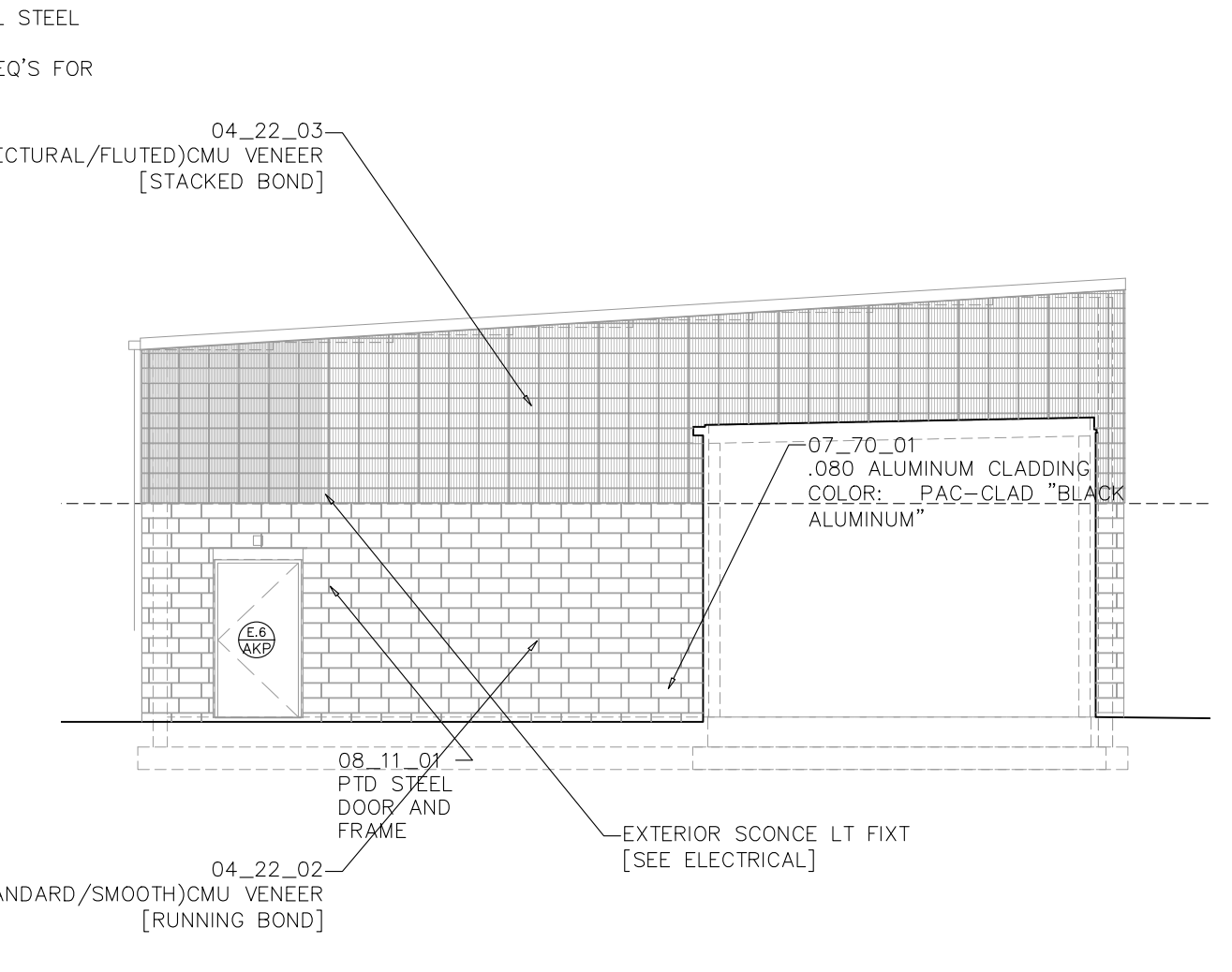
**ELEVATION**  
(PLANTER ONLY)



**03 PARTIAL SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"  
(WEST END/ PLANTER NOT SHOWN FOR CLARITY - SEE 03B)



**04 PARTIAL SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"  
(EAST END)



**05 PARTIAL WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

DD SET (NOT FOR CONSTRUCTION)  
RELEASE DATE: 12.16.19  
SHEET REVISED: 04.27.20

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DTL ELEVATIONS  
A2.02